

**BALD HEAD ISLAND
COMMERCIAL
DESIGN STANDARDS**

*Adopted By Bald Head Island Village Council on November 17, 2023
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ARTICLE I. IN GENERAL.

Sec. 9-1. Purpose and intent.

The purpose of this chapter is to provide physical standards and guidelines for commercial site and building design that seek to preserve Bald Head Island's ecosystem and maintain the natural beauty that defines Bald Head Island. The design standards are intended to allow for creative development of commercial areas that respects Bald Head Island's character while responding to the immediate context of the proposed construction. The specific intention is to ensure:

- Proposed development that minimizes disruption of the natural environment.
- Architectural planning and design in concert with and reinforcing of existing Bald Head Island character and scale.
- Creation or enhancement of connectivity of existing development and resources.
- Orientation and siting to establish public space and community welfare.

The design standards established by this chapter are intended to complement and enhance, not supersede, the village zoning ordinance. While there may be overlap between the concepts expressed in this chapter and the village zoning ordinance, each constitutes a separate review and approval process required for commercial development on Bald Head Island.

Sec. 9-2. Concept: Bald Head Island character.

Buildings on Bald Head Island are typically a blend of "low country coastal vernacular" and "shingle style" architecture. Massing, materials, and architectural detailing are incorporated to create a homogeneous informal impression with a personal pedestrian scale. Bald Head Island's character is exemplified by an orderly, well-proportioned composition of buildings integrated into the natural environment.

Sec. 9-3. Form based design.

Form based codes are the rules that define each building's physical form, its relationships to its neighbors and to the public realm. Each building typology has its own set of requirements that uniquely address the environmental and architectural context of its location. Each building is part of collective architectural order to create public ways, streets, and common spaces.

Sec. 9-4. Definitions.

Applicant means the property owner and any authorized agent submitting an application for review pursuant to this chapter.

Arbor means an area shaded by trees, shrubs or vines on a latticework structure- see trellis.

Authorized agent means a person authorized by a property owner to act on their behalf. All authorizations must be in writing and submitted to the village prior to or contemporaneous with an application.

Caliper means the diameter of a living tree at breast height or approximately 4.5 feet from ground level.

Conceal means to hide behind grade-level screening within the footprint of a structure, as specified within these design standards or to keep completely from sight of any public road or fairway view by vegetation, natural terrain or other solution approved by the CRB.

CRB means the commercial review board established by this chapter and appointed by the village council.

CRB administrator means the person charged with supporting the work of the CRB and administration of this chapter as shall from time to time be designated by the village manager.

Exotic plant means any plant not native to Bald Head Island or North Carolina as listed in appendix A.6.

Grade, average, means the sum of the varying elevations of the ground around the perimeter of the building including, but not limited to decks, staircases, porches etc. divided by the number of elevation changes included in the calculations.

Impervious surface means the area of the property covered by structures or materials that do not allow water to penetrate or percolate into the ground. For example, this would include any covered structures, paved or graveled walkways/driveways or decking without sufficient spacing between the boards (less than ¼ inch). It would also include marl, for though water can penetrate marl, it does not percolate into the spaces of the ground beneath quickly enough to earn a pervious rating. However, a surface of number 57 stone, as designated by the American Society for Testing and Materials, laid at least four inches thick over a geotextile fabric is considered pervious. These standards include the building footprint (with cantilevered elements), not the roof overhangs.

Invasive plants means exotic plants not native to Bald Head Island that have the potential to spread. Invasive species are a major threat to our environment because they (1) can change habitats and alter ecosystem function and ecosystem services and (2) crowd out or replace native species.

Limited common area means those portions of the Common Area that serve only a limited number of units and which may include, but specifically is not limited to, walkways, parking, buildings or areas serving only specified lots and such other similar areas as designated by the village. The limited common area will be managed and maintained by the village at the expense of only the owners of units served.

Massing means the composition of building forms.

Muntin means a strip separating panes of glass in a sash.

Native plant means a plant that occurs naturally in a particular location without direct or indirect human intervention. The distinction between native and non-native species is important because native species have generally adapted and evolved with the competing species, predators, and diseases of an area over many centuries or longer. Bald Head Island native plants support indigenous wildlife, habitats, ecosystem function and ecosystem services.

Naturalized area means an area of native vegetation that consists of undisturbed understory and ground cover. Removal of understory and ground cover in naturalized areas on building sites is prohibited. New construction projects must avoid damaging naturalized areas outside the limits of construction fencing.

New construction means the construction, alteration, movement, enlargement, replacement, repair, use and occupancy, location, maintenance, removal and demolition of every building, structure or any appurtenances connected with or attached to such buildings or structures on Bald Head Island.

Rake means the sloped sides at the end of a gable roof forming a triangle.

Renovation, major means any renovation of heated space within a building or non-heated space greater than 250 sq. ft. Major renovations are further divided into categories as set out in appendix A.5.

Renovation, minor means any renovation that is not a major renovation. Minor renovations are further divided into categories as set out in appendix A.5.

Service area means portions of the Common Area located within the property reserved for the exclusive use of one or more, but fewer than all, of the owners.

Shed means the secondary roof form.

Understory means an underlying layer of vegetation, especially the plants that grow beneath a forest's canopy.

Unit means property, whether improved or unimproved, which may be independently owned and conveyed and which is intended for development, use and occupancy. The term will refer to the land, if any, which is part of the unit as well as any improvements thereon.

Unit, improved, means a unit with a completed structure built upon it for which the village has issued a certificate of occupancy.

Unit, unimproved, means a vacant lot with no completed structure built upon it.

ARTICLE II. APPLICABILITY & ADMINISTRATION.

Sec. 9-21. Applicability of design standards.

The provisions of the design standards shall apply to development, including, but not limited to the construction, alteration, movement, enlargement, replacement, repair, use and occupancy, location, maintenance, removal and demolition of every building, structure or any appurtenances connected with or attached to such buildings or structures on Bald Head Island for either non-residential or mixed commercial/residential use, and located in an area or on a lot or parcel of land designated for non-residential development by zoning district or overlay regulation, planned unit development, or other land use restriction.

The standards of this section shall:

- Establish the criteria for application review.

- Set grounds to approve, deny, or approve with conditions.
- Set grounds for appeal.
- Establish a schedule for and stages of submissions.

Sec. 9-22. Commercial review board.

The Commercial Review Board (CRB) is established by the Village of Bald Head Island to administer the design standards and to review all applications for new construction and renovations on any properties in commercially zoned districts.

The CRB is composed of a five-person voting board, with two alternates who may replace any absent or disqualified member at any meeting. Members of the CRB are appointed by the village council. Council should give priority to persons with backgrounds in planning, development, design, architecture, landscape architecture, or construction. Board members sit for staggered three-year terms with two members and alternate being appointed in odd-numbered years and three members and alternate being appointed in even numbered years. In appointing the initial CRB, council shall appoint two regular members and one alternate to an initial term that expires June 30, 2025, and three regular members and one alternate to an initial term that expires June 30, 2026, in order to create staggered terms. Council may fill vacancies for unexpired terms only.

The CRB will be advised by the CRB administrator and an architect and/or landscape architect under contract with the village. Both are non-voting positions.

The CRB will hold an organizing meeting annually in the month of August. At that meeting, the CRB will elect one of its members to serve as chair and preside over the board's meetings and one member to serve as vice-chair to serve as acting chair in the absence of the chair. The persons so designated will serve in these capacities for one year and are eligible for reelection.

Other than the organizing meeting, meetings of the CRB will be held pursuant to a regular schedule set at the organizing meeting or adopted at any properly noticed meeting thereafter or at the call of the chair within 60 days of submittal of a complete application, as determined by the CRB administrator. All meetings of the CRB are open to the public. The board will keep minutes of its procedures, showing the vote of each member upon each question, or, if absent or failing to vote, an indication of such fact and final disposition of all matters before the board, all of which shall be of public record.

A quorum shall consist of more than one half of the appointed members of the CRB eligible to vote, including any alternate seated to replace an absent or disqualified member, present for any meeting. Once the existence of a quorum is established, votes may proceed by simple majority of the members present at the meeting

CRB approval is required prior to undertaking any new construction, exterior renovations, or site work. When reviewing a submitted set of plans, the CRB may require compliance with requirements that, although not itemized specifically, are supported by sections of the design standards, or agreed upon by the applicant.

Sec. 9-23. Amendments.

The CRB may periodically consider and determine that there is a need to amend the design standards.

Any design standard amendment must be considered and adopted as an ordinance by the village council before implementation. If a design standard amendment is adopted after an application is submitted, but before a CRB approval is granted, the applicant may choose which version of the design standard will apply to consideration of the application.

Sec. 9-24. Effect on nonconforming structures.

It is recognized that lawful nonconforming structures may currently exist at the adoption of these design standards or may develop as a result of either future amendments of these design standards or amendment of the Bald Head Island zoning map. Such nonconformities may continue, but generally should not be changed, expanded or enlarged in such a manner as to increase the extent of the nonconformity with the then existing design standards. It is the purpose of this section to encourage the eventual cessation of nonconformities, but to provide that such structures may be reasonably repaired and maintained.

- (a) Any nonconforming structure in existence at the time of the adoption of this ordinance or subsequent amendment to this ordinance or the Bald Head Island zoning map that creates a nonconforming structure shall not be subject to these design standards at the time of adoption. Use of the structure may be continued without the need for alteration to conform with these design standards. Such use includes performing normal repair and maintenance updates to the structure, except that where an exterior feature of a structure is to be repainted or reclad, such work must be done in conformance with the color and siding requirements of these design standards. Additionally, replacement of features such as doors, windows, roof materials, or decorative items, on a nonconforming structure should, as far as possible, be done in a way that conforms with the spirit of these design standards. Notwithstanding the foregoing, it is the intent of this section to permit nonconforming structures to be repaired or maintained in the normal course even if a conforming feature cannot reasonably be used.
- (b) The square footage of a nonconforming structure shall not be expanded or enlarged except (1) to comply with the requirements of federal or state laws or a local ordinance of general applicability, including a zoning ordinance where use of the structure is changed, or (2) to make such structure conform with these design standards.
- (c) Any nonconforming structure which, at any time, is not in use for a one-hundred and eighty (180) day period following the adoption of this ordinance or subsequent amendment that creates a nonconforming structure shall be considered to have discontinued operations and, therefore, regardless of the reason or intent of such discontinuance, will no longer be permitted for any use without alteration to substantially comply with these design standards as determined by the CRB. The initial decision as to whether an existing nonconforming structure has been abandoned shall be made by the CRB administrator.
- (d) The reconstruction or renovation of a nonconforming structure that is damaged or destroyed as a result of fire, storm, or other natural/uncontrollable factor such that more than 50% of the structure would need to be reconstructed in order for the structure to continue being used, shall be subject to the new construction design standards of this ordinance, and shall be permitted only upon securing all approvals required for a new construction project.

9-25. Commercial area overlays.

The design standards are written for all commercially zoned districts. There are three primary commercial areas. Specific site guidelines exist for the overlay districts within commercial areas. The commercial areas and related overlay districts are identified as follows.

- 1. Marina/ Harbour District (PD-3C, 3-C1)**
 - a. Ferry landing operations
 - b. River front development/transportation expansion area
 - c. Marina development/transportation expansion area
 - d. Bridge-lot development
 - e. Old Baldy Historic District
 - f. Public service areas

Figure 1: Marina/ Harbour District (PD-3C, 3-C1)



2. Mid Island District (PD-2C-2-3)

- a. Muscadine corridor
- b. Edward Teach Wynd District
- c. Public service areas
- d. Maritime Way District



Figure 2: Mid-Island District (PD-2C-2-3)

- 3. East Beach District (PD-2C-2-3-4)
 - a. Conservancy campus development
 - b. Federal Road/ Shoals Alley development



Figure 3: East Beach District (PD-2C-2-3-4)

ARTICLE III. REVIEW PROCESS.

Sec. 9-41. Purpose.

The primary purpose of all CRB reviews is: (a) to assess and confirm conformance with these design standards and any other applicable village ordinance, and (b) to assess the impact of requested deviations and approve or disapprove such in the context of the stated objectives of these design standards. The property owner or the owner's designated agent is solely responsible for compliance with the design standards and assuring compliance fulfillment by their designer of the approved plan.

Sec. 9-42. Review requirements.

- (a) **Review stages.** The CRB review procedure allows for a multi-stage process wherein the property owner receives optional draft reviews, a preliminary review, and a final review as described in this section. The CRB, with agreement of the applicant, may determine that an application for a minor renovation is appropriate for a one stage review process during preliminary review. All new construction and major renovations are expected to go through at least a two-stage review process that includes preliminary review and final review.
- (1) **Draft review(s).** A draft plan review is optional, but strongly encouraged. This supplemental step enables the CRB to consider the design aspects of the building and site prior to the formal submission process. Submit one full-size printed copy and one emailed PDF. No appeal is available from recommendations issued following a draft review.
 - (2) **Preliminary review.** This is a formal submittal and required stage in the review process. All submission requirements identified in appendix A.3 apply. Submit one full-size printed copy and one emailed PDF copy. No appeal is available from recommendations issued following a preliminary review.
 - (3) **Final review.** Applicant should revise their preliminary submission as required by CRB; indicate each change with a "revision cloud" and a written description attached to the final application. Include a scaled landscape plan and paint application. Submit one full size printed copy and one emailed PDF copy. Village technical review must be complete and incorporated in the submittal.
- (b) **Drawings required.** Preliminary and final review submittals for projects with a total value above \$300,000 and a total project area greater than 3,000 square feet must include drawings that are signed by and that carry the seal of a North Carolina licensed professional engineer or licensed architect responsible for their preparation. This assures the review process of appropriate and desirable levels of competency and aesthetic to maintain compatibility in Bald Head Island's unique building environment and is invaluable in planning a compliant and lasting structure on Bald Head Island.
- (c) **Fees.** Fees related to the submittal process may be found in appendix A.5. Any submittal requiring a fee must include the fee to be considered complete. All fees are subject to annual review and update by the village council.
- (d) **Final approval required.** Construction activity, including, but not limited to, pile driving and material deliveries are not permitted without written final approval by the CRB, a site management meeting with the CRB administrator or designated agent, and an executed pre-

construction site management compliance form. The applicant will be notified in writing of all review decisions of the CRB as soon as possible following each meeting, but no later than 14 days following the meeting. For convenience and to speed delivery, email notification to an email or emails provided in the application will be used unless mail notice is requested.

- (e) **Administrative decision.** A CRB review decision is administrative in nature. The CRB applies the objective standards set forth in this chapter when issuing a decision.
- (f) **Vesting.** Unless a longer period is approved during the application process, project approval by the CRB is valid for 24 months from the date of written notification to the property owner. If the Village of Bald Head Island building permit has not been issued and on-site construction has not begun within 24 months from CRB issuance of written approval, the CRB approval expires.
- (g) **Expired approvals.** If an owner wishes to proceed with a previously approved project for which the approval has expired, the project will be subject to the current construction review design process based upon current design standards and fees.

9-43. Decision review meeting.

Any applicant disagreeing with a review decision of the CRB may, but is not required to, contact the CRB administrator to request a further meeting to review the reasons for the decision. This request may be made at any time within 15 days after the date of the CRB letter notifying the applicant in writing of the review decision. The CRB will hold a meeting with the applicant no later than the next scheduled CRB meeting or within 60 days, whichever is sooner. The designer and the applicant must be present at this meeting. Any appeal deadlines established by this chapter shall be tolled until the conclusion of the decision review meeting.

9-44. Appeal.

The applicant or other party with standing may appeal a CRB final review decision by notifying the CRB administrator in writing of this intent within 30 days of receipt of notification of the CRB final review decision. Such appeal will be referred to the village planning board for a hearing following the quasi-judicial procedures set forth in Sec. 32-102(c). The CRB administrator shall represent the CRB at the hearing.

Sec. 9-45. Enforcement.

CRB approval is required for all new construction and for any reconstruction, alteration, or improvement that qualifies as a major or minor renovation within the commercially zoned districts. The requirements of these design standards are enforceable in accordance with Secs. 32-61 through 32-66 of the Village of Bald Head Island Code of Ordinances. Applicants or their representatives must bring any deviations from exterior approved plans to the attention of the CRB immediately upon discovery for the CRB to review the deviation and determine if it may be permissible or if other action will be recommended. Applicants must not assume automatic approval of a construction detail because it currently exists on Bald Head Island. In addition to the remedies set forth in Secs. 32-61 through 32-66 of the Village of Bald Head Island Code of Ordinances, the CRB is authorized to assess civil penalties for violations of this chapter of up to \$500 per day on a project-wide basis.

Sec. 9-46. Variances.

Upon a finding of unnecessary hardship following an evidentiary public hearing held pursuant to the procedures set forth in Sec. 32-104(c) of the Village of Bald Head Island Code of Ordinances, the CRB may authorize reasonable variances from compliance with any of the standards set in this chapter. Variances are permitted to alleviate practical difficulties and hardships in the strict enforcement of the design standards. Such variances may only be granted, however, when unique circumstances dictate, and no variance shall (a) be effective unless in writing; or (b) preclude the CRB from denying a variance in other circumstances.

The CRB shall determine whether a variance to the design standards will be granted following the procedures set forth in Sec. 32-104(c) of the Village of Bald Head Island Code of Ordinances. The concurring vote of four-fifths of the CRB shall be necessary to grant a variance. A final decision on a variance will be sent to the applicant in writing. Any variance granted by the CRB expires simultaneously with CRB project approval expiration.

Sec. 9-47. Appeal to superior court.

Any appeal from a final review decision of the Planning Board regarding application of the design standards or a CRB variance decision may be made by an aggrieved party and shall be made to the Superior Court of Brunswick County in the nature of certiorari. Any such petition shall be filed with the clerk of the superior court within 30 days after the written decision is filed with the village clerk, or after a written copy thereof is delivered to every aggrieved party who has filed a written request for such copy with the village at the time of its hearing of the case, whichever is later.

ARTICLE IV. GENERAL SITE DESIGN.

Sec. 9-60. District standards.

Each of the three districts to which these design standards apply has distinct characteristics, both programmatic/user requirements and environmental/natural resource concerns, demanding subtle differences in site and building design approach. These design standards are established to ensure that the long-term interests, health, and natural environment of the community are protected. Key issues of concern include:

- (a) **Marina/ Harbour District.** Functions as the entrance to the community both figuratively and practically. The site design must consider:
 - (1) Pedestrian, cart and tram traffic and parking related to ferry service.
 - (2) Service/delivery activity related to barge service.
 - (3) Flexibility and protection in recognizing environmental changes of riverfront and marina location.
 - (4) Focus on natural resources and views.
 - (5) “Gateway” program, enhancing the “entrance” to the village and link to the community historic district.

- (b) **Mid-Island District.** Functions as the primary commercial/service district. The site design must consider:
 - (1) Context and scale of adjacent development, commercial and residential.
 - (2) Increased traffic to support proposed use, services, deliveries, trash, and vehicle storage.
 - (3) Pedestrian/ cart access and parking.
 - (4) Protection of the existing natural environment.

- (c) **East Beach District.** Functions as a low-density mixed-use and/or commercial development area. The site design must consider:
 - (1) Alleviating existing disruption of East Beach residential area.
 - (2) Minimal impact of natural setting.
 - (3) Scale and density to respond to residential surroundings.
 - (4) Restriction of vehicular traffic.
 - (5) Promotion of pedestrian traffic.

Sec. 9-61. Building location and orientation.

The building design and location must address the following concerns and issues:

- (a) Buildings, parking, access, and ancillary requirements must minimize and protect existing natural environment.
- (b) Buildings must front and be parallel to streets, public spaces, and or pedestrian thoroughfares.
- (c) Building siting must respond to and “anchor” significant vistas and nodal points.
- (d) Building locations should support and create public spaces.

Sec. 9-62. Relation to grade.

Public accessibility requirements encourage the placement of the finish floor as close

as possible to the finish grade unless specific site conditions or flood zones require otherwise. First floor elevation and elevation of related exterior spaces must consider connectivity to adjacent developments when appropriate to promote through-district accessibility.

Sec. 9-63. Setbacks.

Setback requirements vary with location, district overlay zones, and proposed use. The building setbacks requirements for each property are found in the deed restrictions, recorded covenants (if any), these design standards and the Village of Bald Head Island Code of Ordinances. Zoning requirements are also found in the Village of Bald Head Island Code of Ordinances. Proposed designs must adhere to the most restrictive of the setback and zoning requirements applicable to a particular property. Reference appendix A.2. Mechanical equipment, and storm water control measures shall be allowed in rear and side setbacks.

Sec. 9-64. Parking.

Parking layout design must meet the following requirements:

- (a) Parking requirements are to be met on proposed development property or met by a dedicated approved alternate location.
- (b) Parking is to be located behind the front façade of buildings unless a component of the overall streetscape.
- (c) Parking layouts are to be interrupted to accommodate preservation of existing trees.
- (d) Parking and loading for buildings located at an intersection are not allowed on lot corners.
- (e) Parking and/or vehicular use areas shall maintain a minimum of 6’ distance from property lines (excluding driveways) to allow for screening. Refer to Sec 9-105. Landscape E.3.

Sec. 9-65. Loading and delivery, service areas, mechanical equipment, and utilities.

No loading, service areas, mechanical equipment or utilities should be located along primary streets or visible from public areas. Screening is to match or complement the related building. Natural screening may be allowed in certain circumstances. Each application will be considered on a case-by-case basis.

Sec. 9-66. Open/Public space.

5% of commercial parcels shall be designated open/public space and enhance the pedestrian environment. Orientation, building placement, protection of natural setting, hardscape elements, and pedestrian access should consider and enhance:

- (a) **Pedestrian environment.**



Figure 4: Screening

- (1) Promoting connectivity between commercial areas and the residential community.
- (2) Open areas visible from the street, fronting the building, and encouraging use.
- (3) Connected walkways.
- (4) Garden walls establishing court areas.
- (5) Porches, decks, patios or terraces that are used for more than access to the project, including seating areas for restaurants, dog-walk areas, merchandise display areas, court areas.



Figure 5: Connecting walkways

- (b) **Landscape requirements.** Existing natural growth, including forest undergrowth, is part of the public domain and must be preserved to maintain the character of Bald Head Island. Special care for and inclusion of specimen trees as focal points to the design is encouraged.

ARTICLE V. GENERAL BUILDING DESIGN.

This section is intended as guidance to building design to ensure compatibility with existing development, the natural environment, and the scale and traditional character of Bald Head Island.

Sec. 9-80. Form and massing.

Overall building mass should be broken down to prevent a “box like” design or the appearance of a three-story structure. Large buildings should be modulated using repetitive bays, patterns of architectural components (i.e. windows, doors, balconies), or recesses in the façade itself.



Figure 6: Building mass, scale

Sec. 9-81. Scale.

Buildings should incorporate two scales of architectural definition simultaneously. At the ground level and along pedestrian paths the building should respond to the scale of the people using the building. From the street or at a greater distance, architectural detailing and the overall form of the building should combine to create a coherent image.

Sec. 9-82. Context.

Building forms should consider adjacent buildings and districts to facilitate a smooth transition that reinforces a sense of neighborhood.

Sec. 9-83. Composition.

Incorporating a building form comprised of a distinct base, body, and roof is important to reinforce the horizontal and traditional character of Bald Head Island structures.

- (a) **Rhythm.** There is a recognizable rhythm to structures on Bald Head Island. The restrictions on height, roof slope and proportions tend to generate repeating architectural forms. The number of different forms and the frequency with which they are repeated creates the building's rhythm.
- (b) **Height Restrictions.** Except as permitted by the Village of Bald Head Island Code of Ordinances or the Urban Code, a building may be no higher than 45 feet, unless noted otherwise herein.

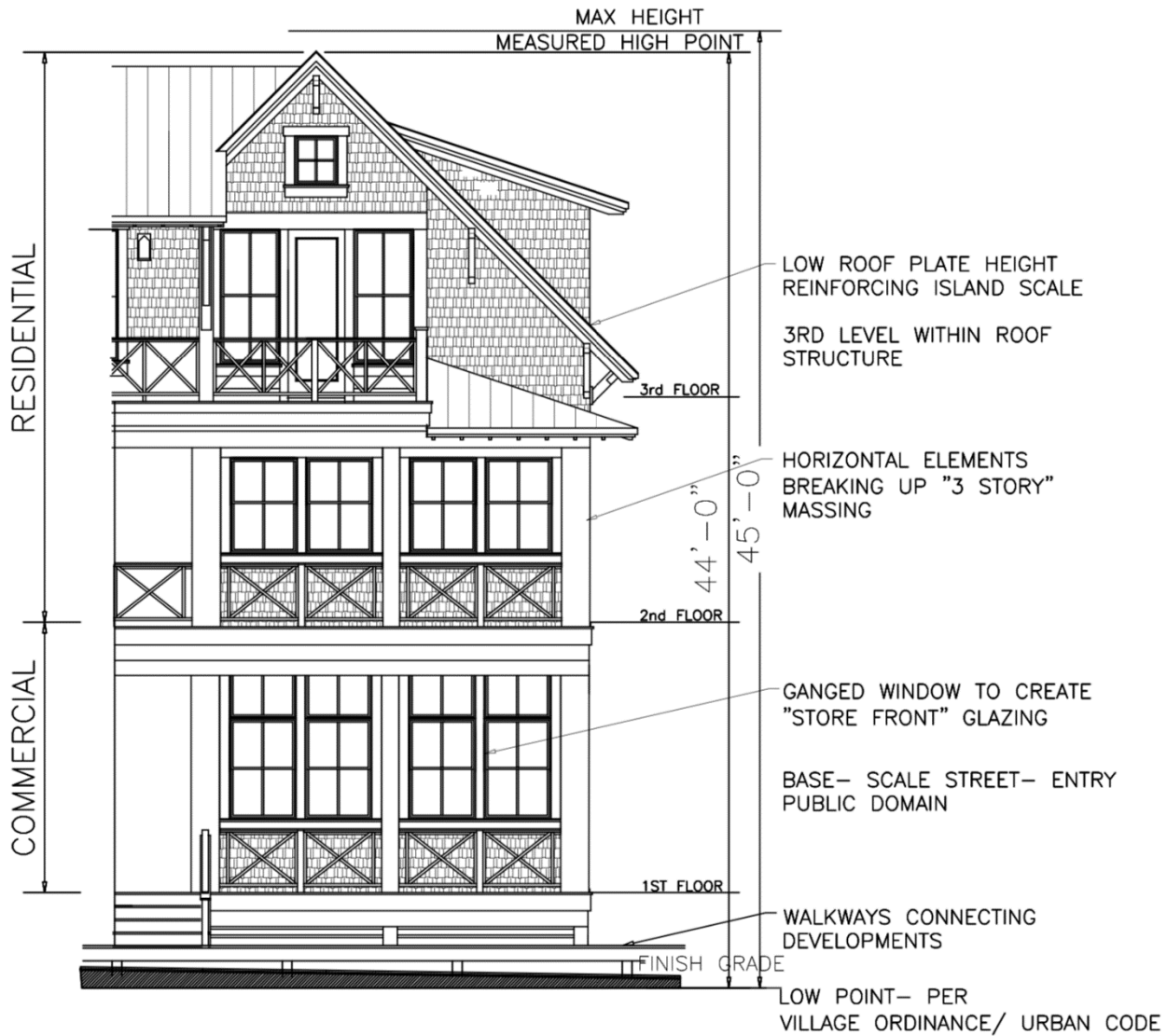


Figure 7: Building composition

(c) **Relation to grade.** Every effort should be made to keep the base and finish floor in scale and harmony with surrounding existing architecture unless site conditions dictate otherwise. Stairs, ramps, terraces, and other connective elements providing access to the finished grade must be integrated into the articulation of the building's base.

(d) **Façade development.** Articulation of the building façade must consider the following:

- (1) Building at corners or terminating axial focal points should incorporate additional embellishment or distinct composition to emphasize the location.
- (2) Consistent use of materials and level of detail on the primary elevation shall continue to all publicly visible sides of the building.
- (3) Porches are an integral part of the style and architecture on Bald Head Island. The use of porches is encouraged as a tool to establish scale and break down continuous vertical surfaces of the building's body.



Figure 8: Building as focal point

(e) **Roof forms.** Roof design should be simple with limited roof types incorporated into the composition. Repetition of forms is often used to reduce the scale of the overall form and reinforce the rhythm of the building.

ARTICLE VI. SPECIFIC BUILDING REQUIREMENTS.

Sec. 9-101. Materials.

- (a) **Base.** The base of a building should be distinct from the main body of the building. Approved base materials include painted wood, stucco finished concrete or block, and painted brick.
- (b) **Body.** The body of the building should be clad consistent with the following standards:
 - (1) **Exterior siding.** The most common exterior material used in the main building facade on Bald Head Island is cedar shingles or shakes, either painted or left natural. Horizontal wood or cement siding, vertical board and batten patterns and other siding materials will be reviewed on a case-by-case basis.
 - (2) **Metal siding.** Metal siding may be approved if it evokes a traditional aesthetic and is incorporated into an overall architectural theme. Metal siding that looks like a prefabricated metal building will be reviewed on a case-by-case basis.

(3) **Vinyl siding.** Not allowed under any circumstances.

(c) **Street level glass.** Commercial buildings typically have large amounts of glass on the street level. The design must integrate this need for glass with the requirement under "Proportion" for the glass to be taller than it is wide. The most common solution is to gang several residential style windows together to create a large area of glass. The use of metal "storefront" glass is not encouraged.



Figure 9: Metal siding with board and baton appearance



Figure 10: Ganged windows

- (d) **Windows.** Windows should reflect the architectural style of the project. Projects with a traditional design should use traditional window types such as double-hung or casement windows. When large areas of glass are required, multiple windows should be ganged together. Using an odd number of windows in a grouping is recommended. If a grouping of windows exceeds four windows, the window trim should be varied to create rhythm within the window grouping. Windows with divided lights are required to use simulated divided lights with mullions on the outside and inside of the glass. Decorative glass or applied glass film must be approved by the CRB. Dark tinted or reflective glass will not be approved.



Figure 11: Window scale

(e) Window requirements.

- (1) 75% or more of the window shapes must be vertical /rectangular.
- (2) Single and double hung windows must have a minimum height to width ratio of 1.5 to 1.
- (3) Accent windows should be used sparingly.
- (4) Trapezoidal windows are not allowed.
- (5) Window and door trim. Traditional window trim is designed with a head larger than the jambs and sill. The head, jambs or sills often extend beyond the adjacent joints to create "horns." "Picture frame" window trim is not recommended.

(f) Doors. Wood doors are preferred. Fiberglass and metal doors are approved where required because of flood requirements and in secondary locations with heavy traffic. Aluminum storefront doors are not approved unless consistent with adjacent windows.

(g) Fascia and soffits. Material quality and finish to be comparable to typical trim application on building. Allowable materials include wood, cementitious fiber boards or divided panels.

(h) Roof design. Roof materials; standing seam metal, cedar, and fiberglass shingles. Pitched roof designs are encouraged. Directly adhered membrane or industrial

metal roofs can be approved if the roof is not visible from the exterior of the building. Parapet walls are an approved method of concealing membrane or industrial metal roofs.

- (i) **Roof style.** Primary roofs to be gable, hip or gambrel. Commercial buildings should be seen as an extension of the residential character and scale of Bald Head Island. Plate height for primary roofs should be kept as low as possible, integrating the top inhabited story into the roof mass and reducing the scale of the building. Flat roofs are only allowed when: 1) Used to accentuate a building element as a focal point or an element establishing building rhythm, and 2) architecturally integrated as an attached shed or room to a principal pitched roof. Flat roofs must be bordered by parapet or balustrade or trimmed with prominent cornice capping the wall. Rooftop decks must be architecturally integrated into the overall roof design and not contribute to a three-story appearance.



Figure 12: Roof style, pitch, integrated flat roof

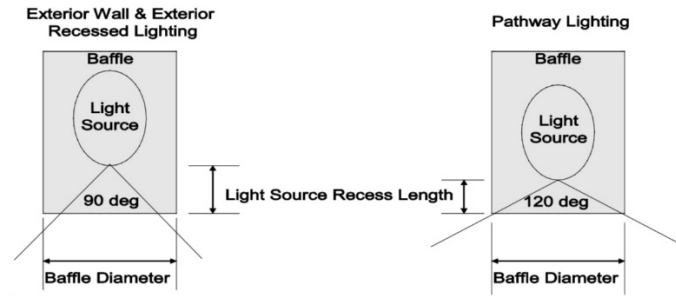
- (j) **Roof pitch and overhang.** Principal eave overhangs of all structures shall be 24 inches minimum and rake overhangs of all structures shall be 12 inches minimum. This minimum standard for overhangs may not be sufficient for every design. The overall massing should be considered when designing overhangs. Gable roof pitch should be a minimum of 8:12. The pitch of hip roofs shall be a minimum of 6:12. Secondary roofs shall be pitched a minimum of 4:12.

Sec. 9-102. Components.

- (a) **Entry.** A commercial building may have several "front doors." Primary entry-doors should reflect the architectural style of the project and be distinct in prominence

from standard access units.

- (b) **Column trim-enclosure.** Scale and level of detail to be consistent with overall design and length of column. Patterns and size may vary to establish patterns and rhythm in elevations.
- (c) **Rafters.** Barge and exposed rafters should be sized in proportion to the structure. Larger projects are encouraged to use rafter sizes and spacing bigger than the typical sizes used on a smaller structure.
- (d) **Beams and brackets.** Where exposed beams and brackets are used with rafters, these members should be sized proportionally with the rafters and the overall scale of the project.
- (e) **Decks.** Decks more than 4' deep or 4' high must be supported on dedicated deck pilings rather than braced from the building pilings. These deck support pilings must be a minimum of 8" x 8". Cantilevered decks, balconies and other heated space must be bracketed or braced from the building pilings or walls.
- (f) **Porches.** The use of porches is encouraged. The designer is responsible for ensuring that a porch used for exit access or as a seating area meets local, state and federal requirements. Porch ceilings should be tongue and groove or panels with a pattern of baton strips.
- (g) **Elevators.** Every effort should be made to keep elevators inside the building. However, if this is not possible, exterior elevators may be allowed, provided they are concealed or incorporated into the overall pattern/ scale of the building elevations.
- (h) **Exterior lighting.** Light pollution is avoidable. Building and site design should be frugal with exterior lighting. 1. All exterior lighting fixtures, regardless of design, are subject to approval. 2. All lighting will be baffled to prevent direct visualization of the light source.
 - All exterior wall lighting shall have a baffle-to-light source relationship that creates a maximum spread of light of 90 degrees from the bottom of the baffle. All fixture lenses and bulb covers must maintain the source-to-baffle relationship indicated in the diagrams and examples of the baffle-to-light source relationship calculations per figure 13.



Baffle diameter	Source recess length from bottom of baffle	
	90 degree spread	120 degree spread
4"	2"	1.15"
6"	3"	1.73"
8"	4"	2.31"
10"	5"	2.87"
12"	6"	3.16"

Figure 13: Exterior light baffle

- All pathway low-luminary lighting shall have a baffle-to-light source relationship that creates a maximum spread of light of 120 degrees from the bottom of the baffle. All pathway lighting shall be no higher than eighteen inches (18") above grade as measured from the top of the light fixture.
- All hooded exterior wall fixture bulbs will be from the white family and no bulb shall be brighter than 450 lumens. (Approximately 40 watts incandescent, 6 watts LED, 10 watts CFL). The bulb/light color temperature must be 3000 degrees Kelvin or less, which is warm white in color.
- Pathway or stairway lighting fixtures must utilize a maximum equivalent of 100 lumens or less. This light style must be reviewed and approved by the CRB and must be used sparingly.
- Placing television sets or other electronic equipment on exterior decks, porches, etc. is not permitted, unless it is possible to shield from horizontal view by neighbors and from the street/alley etc. Special note should be made of the Village of Bald Head Island Noise Ordinance.

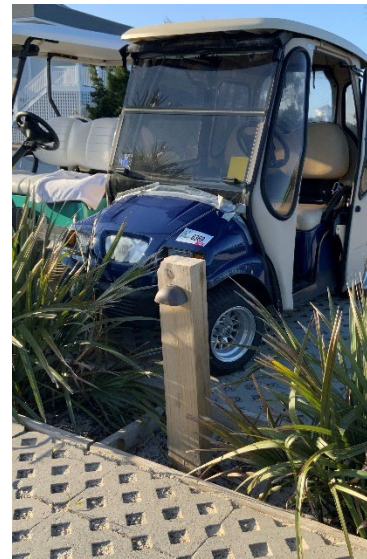


Figure 14: Pathway lighting

- (i) **Interior lighting.** The design standards encourage window treatment, light fixture design, timers, switching configurations, and other options that limit light pollution caused by interior lighting. It is also important to limit the projection of interior lighting to the exterior of the structure. All buildings should utilize shades/blinds as

appropriate to limit light emanating from within the structure to the outdoors, and interior lights must be turned off after business hours except those required for safety/security purposes.

- (j) **Color and texture.** The design standards encourage traditional color schemes that emphasize gray and neutral color for the main body of the project and off-whites for the trim and decoration.

Sec. 9-103. Commercial lot: Usage/building typology. Within the three commercial districts: Marina/ Harbour District, Mid-Island District, and the East Beach District, specific site and building requirements are established to protect the public domain and overall community character. The “condition types” in these design standards respond to the uniqueness of each area and allowable uses. See appendix A.2 for building type setbacks and parking requirements.

TYPE A: Mixed use-residential/commercial.

Federal Road/Shoals Alley development & Bridge-Lot development: To maintain the “Street character” of lots bordering residential neighborhoods, designs are required to meet building set back, coverage, and design requirements of immediately adjacent neighborhoods (reference Bald Head Association Design Guidelines, which may be available online from the Bald Head Association) excepting as follows:

Height. Maximum height of the primary roof structure is 45’ above virgin grade at the building perimeter. “Usable space” located above a height of 30’ is to be accommodated within the roof mass (reference composition).



Figure 15: Type A: Mixed use residential & commercial



Figure 16: Public streetfront



Figure 17: Low density commercial



Figure 18: Type B: Service, storage, warehousing

TYPE B: Commercial/service/storage/warehousing.

These buildings and related service yards require increased setbacks with protected natural screening to preserve the natural character of the access street. Additional considerations:

- Minimize width of curb cut to 16' and clearing of drive ROW to 12'.
- Require exterior storage of vehicles and materials to be located behind the front line of the street elevation of the building.
- Provide screening for exterior storage of materials.

TYPE C: Mid-Island & Marina/Harbour District: Commercial/residential.

Special considerations include:

- Primary massing and elevation datums to relate to existing/neighborly structures.
- Separation of residential parking and service facilities from commercial requirements.

- Minimize exterior lighting at upper levels.

TYPE D: Mixed use residential/commercial.

Muscadine corridor: To maintain the “Street character” of lots bordering residential neighborhoods, designs are required to meet building set back, coverage, and design requirements of immediately adjacent neighborhoods (reference Bald Head Association Design Guidelines, which may be available online from the Bald Head Association) excepting as follows:

Height. Maximum height of the primary roof structure is 45’ above virgin grade at the building perimeter. “Usable space” located above a height of 30’ is to be accommodated within the roof mass (reference composition)

TYPE E: Institutional campus/public service buildings. Special consideration should consider:

- Primary massing and elevation datums to relate to existing/ neighboring structures.
- Defined pedestrian access points to promote continuity of campus program.
- Special use permitting
- Safety: adjacency to primary streets, address heavy traffic passing through campus areas, designate pedestrian “drop off” areas.



Figure 19: Public streetfront



Figure 20: Institutional, public service buildings

Sec. 9-104. Specific site requirements.

- (a) **Storm water management.** Allowable impervious surface area is based on storm water permits issued by the North Carolina Department of Environmental Health and Natural Resources (NCDEHNR). Different sites are subject to different storm

water requirements depending on the location, grade, existing detention or retention structures, and the terms of the specific storm water plan filed with and approved by NCDEHNR. The designer is responsible for determining the storm water requirements, designing the project within the impervious surface available, and securing all required permits.

- (b) **Hardscape paving.** Exterior walkways may be paved with concrete pavers, wood boardwalks or concrete. Loose gravel, rock or landscaped paving is not approved for required building access. Asphalt paving is only approved for passenger vehicle parking. Pervious paving and “honeycomb” paving is encouraged in parking areas. Gravel, rock or landscaped paving can be used on ornamental paths in a landscape plan.
- (c) **Signage.** Building and overall project signage is regulated by the Village of Bald Head Island Code of Ordinances and these design standards. All signs must be submitted to the CRB for approval. CRB approval is required for, but not limited to, the color, shape, graphic design, font style, and message to the extent necessary to preclude offensive or derogatory language. Provided that a business logo is consistent with existing architecture and in compliance with the requirements of the Village of Bald Head Island Code of Ordinances and these design standards, such logo may be used as or incorporated into project signage. Except as otherwise set forth in these design standards, Village of Bald Head Island Code of Ordinances, Section 32- 403- Signs, regulates attachment methods for signs, the sign size, location and other criteria.
- (d) **Landscape.** Landscape plans are required and must show the type, size and number of plants and the irrigation system, walkways or ornamental areas incorporated into the landscaping. Details of any landscape accessories such as benches, pergolas, trellises, or other permanent or semi- permanent structures must be provided. Approved plant types and drawing requirements are listed in appendix A.6.
- (e) **Accessories.** Flags/ flagpoles: The request to install a ground-mounted flagpole must be submitted for approval and must include a site plan with dimensions and specifications for the proposed pole location. Only one ground-mounted flagpole may be installed on a property. Any ground-mounted flagpole must be made of wood or high-quality metal. The flagpole must be no taller than 25 feet and no taller than the primary structure. A bracket-mounted flag kit is allowed on main structures and does not require approval. The maximum flag size allowed is 4’ x 6’ and does require approval. United States flags shall be in good condition and displayed in a respectful manner in accordance with the United States flag code of 1976.
- (f) **Parking and space requirements.** The number of required parking spaces for each project is identified in appendix A.1
- (g) **Trellis.** When a trellis is to be installed, the following standards must be met:

- (1) Material: dimensional lumber
- (2) Maximum footprint of detached trellis 120 sf
- (3) Height: Maximum 10', minimum 8' measured from finish elevation to lowest horizontal member
- (4) Proportion to complement other structures on the lot.

Sec. 9-105. Landscaping.

- (a) **General considerations.** When designing a landscape plan, please be aware of the following:

- (1) Disturbance of wetland areas and vegetation is to be avoided when possible.
- (2) Village approval is required for removal of any tree of 3-inch caliper or greater at 48 inches above grade.
- (3) A plot plan showing trees of 3" or greater diameter is required before proceeding, or those trees should be marked on the tree survey if part of new construction. (See Tree Mitigation and Review Process sections of the design standards.)

- (b) **Clearing, trimming and maintenance, special conditions.**

- (1) Vegetation salvaging. Prior to any clearing the CRB administrator must be contacted to schedule the tagging and salvaging of critical Bald Head Island vegetation from the proposed construction area.
- (2) Lot clearing for sale of property. Clearing of the entire understory or clearing for the sole purpose of selling a lot is not permitted. However, to provide ease of access, a path of 36 inches in width may be cleared as long as no trees, tree limbs or clustered growth, subject to village approval, are disturbed. Any violation due to more extensive clearing will be subject to fines and/or mitigation.
- (3) Lot clearing for survey or staking. Some clearing of understory trees and shrubs may be required to prepare a site for survey or to stake the proposed building site. Permission to clear such understory trees and shrubs shall not be required by the CRB for the purpose of surveying but clearing shall be limited to vegetation less than a 3 inch in diameter at 48 inches as measured along the trunk from ground level or any tree limb less than 3 inches in diameter. Any vegetation larger than this, or any vegetation that exists as clustered growth, or having horizontal branching habits must be approved for removal regardless of diameter size. Exception: It is understood that when surveying to establish the property lines of a lot, vegetation may impede the ability of the surveyor to establish a sight line. Any vegetation directly in the sight line that is less than 3 inches in diameter at 48 inches as measured from the base at ground level, may be removed. CRB approval must be granted to remove any vegetation 3 inches or greater in the sight line. Violations of this requirement are subject to mitigation and fines.
- (4) Lot clearing for any construction. All construction sites must adhere to provisions in other sections of the design standards. The intent when clearing for construction or renovation projects should be to disturb as small an area as possible. An approved site plan is required prior to any vegetation removal for construction.
- (5) Understory removal. Understory should be removed only in the designated building area as shown on the approved site plan. Building materials or equipment should not be allowed to destroy remaining areas of understory or be placed near trees. All trees should be protected with fencing and this fencing must remain in place for the entire construction process.

- (6) Canopy and understory trimming. Cutting and thinning should be kept to an absolute minimum.
- (7) Dune vegetation. The removal of vegetation from any dune area is a critical issue. This vegetation (shrubs, grasses, or vines) holds the dunes in place preventing erosion and storm damage. Due to the wind and salt environment, most of these plants never grow large enough to be subject to approvals for trees. However, they may be covered by additional CRB approval requirements regarding limbs, clustered growth or understory.
- (8) Mulch. If available, mulch used should come from the Bald Head Island mulch site or be a pre-bagged product to help control pests.
- (9) Synthetic/artificial plants. Synthetic and artificial plants are not allowed.
- (10) Pine straw. Pine straw is not allowed.
- (11) Nothing may be affixed to a tree or vegetation.
- (12) Grass. Installation of turf grass lawns is not permitted. Use of native grasses that are naturally maintained are permitted. (See Plant Lists)
- (13) Herbicides. Herbicides can damage the root zones of desirable trees and shrubs. The need for and use of herbicides may best be determined by landscape professionals.
- (14) Avoid using bush-hogs when removing vegetation since it is very easy to scrape and damage desirable trees and shrubs with heavy equipment and to increase undesirable compaction and root system damage.
- (15) Maintenance. All reasonable means shall be taken during and after construction to protect and preserve existing and newly installed landscape material. Maintenance, irrigation, and replacement programs are to be in place at completion of construction to insure established landscapes.

(c) Tree and vegetation removal/mitigation.

- (1) All existing trees 3 inches or greater in diameter, at 48 inches as measured along the trunk from the base of the tree at ground level, shall be entered on a tree survey and submitted to the CRB with proposed site plans. This survey shall depict the exact location, size and drip line or canopy line of the trees and clearly identify the trees that will be removed and the trees that will remain, along with a description of steps that will be taken to protect them. Additionally, for dune lot tree surveys, vegetation, (classified as two square feet or more of clustered growth at ground level regardless of branching habits or branch diameter) shall also be noted on the survey and if any of this type of vegetation is to be removed, it should be clearly identified.
- (2) Existing trees and vegetation must be protected during construction with fencing. The fencing must remain in place throughout the entire construction process. This fencing shall be wood snow fence and protect the extents of the drip line where practicable (See Figure 21).

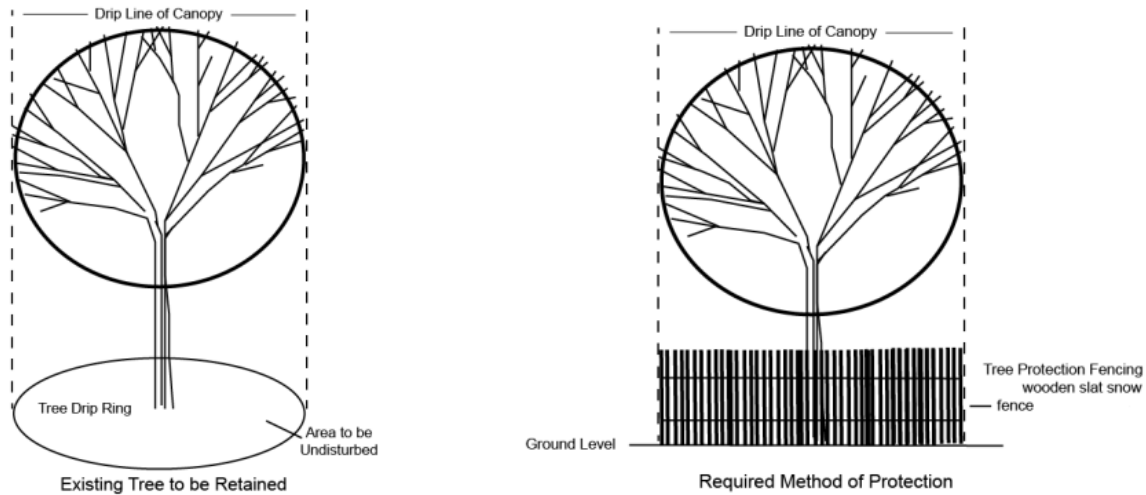


Figure 19: Tree protection area and fencing.

- (3) The CRB may require a mitigation rate of up to 100% for each inch of diameter of trees or vegetation to be removed. A mitigation response needs to be determined by the CRB.
- (4) All specimen trees shown on the tree survey outside of the building envelope shall be carefully protected from construction activities in any manner deemed appropriate by the CRB, including protective fencing. This fencing shall remain in place throughout the construction process (see construction/site standards).

(d) Unauthorized removal of trees and vegetation.

- (1) The unauthorized removal of trees or clustered growth on any property is considered a serious event and violation. The Village of Bald Head Island Code of Ordinances restricts removal of trees and clustered growth. Failure to obtain CRB approval prior to removal may result in fines and mitigation.
- (2) The Village of Bald Head Island Code of Ordinances provides that removal of any tree or trees 3 inches or greater in diameter at 48 inches above grade requires permission and/or a landscape permit from the village building inspector, even if the tree is determined to be dead or diseased.
- (3) Per the Village of Bald Head Island Code of Ordinances, removal of branches of 5 inches or more in diameter also requires village approval.
- (4) CRB approval is required for the removal of trees 3 inches in diameter and understory vegetation 1 inch or greater in diameter measured 48 inches along the trunk from ground level, tree limbs of 3 inches or more in diameter and clustered growth vegetation two square feet or more at ground level regardless of branching habits or diameter.
- (5) Removing trees or branches without first obtaining CRB approval will result in a fine, and mitigation of the loss of trees or limbs. The Village of Bald Head Island Code of Ordinances allows the village to assess fines of \$500 per inch of diameter at 48 inches above grade of the cut tree.
- (6) If mitigation is required, the property owner may be required to plant a tree(s) of like kind and of the same size as the cut tree(s) within 180 days of the fine, guaranteeing the tree to survive for one year after the planting date.
- (7) The building inspector must approve the location(s) of the planted tree(s). The CRB also has

the discretion to require submittal of a landscaping plan.

- (8) In the case of “competing trees,” the building inspector shall decide which tree(s) will be removed. The removal of dead trees requires the same CRB approvals as live trees but does not require a village contractor permit. If a decision by the building inspector is disputed, the property owner must provide sufficient evidence to show the tree is dead, represents a danger to individuals or property or that the tree is diseased and will not live.

(e) Landscaping requirements for new construction and major renovation.

- (1) Engage a trained landscape design professional.
- (2) New construction landscape plans should utilize the proposed site plan with topographical information provided by the survey/site plan that is required for a draft level submittal.
- (3) Parking and vehicular use areas shall be screened from adjacent properties and public right-of-way with existing/protected vegetation or a continuous solid row of evergreen plantings that will reach a minimum height of 4’ at maturity as set out in the latest edition of “American Standard for Nursery Stock”, by the American Horticulture Industry Association, Inc. (ANSI Z60.1).
- (4) Commercial uses must be screened from abutting residential zoning using either existing or planted vegetation. The screening shall be evergreen, continuous, and a minimum of 6’ in height at planting and of a variety that reaches a minimum height of 25’ at maturity as set out in the latest edition of “American Standard for Nursery Stock”, by the American Horticulture Industry Association, Inc. (ANSI Z60.1). Plants shall be spaced accordingly to achieve this performance requirement.
- (5) Existing built sites planning a major renovation should utilize a site plan that includes all existing improvements, remaining existing landscaping, hardscape and illustrate the proposed changes.
- (6) Verify setbacks of the property as determined by the design standards and the Village of Bald Head Island Code of Ordinances, as well as government waterfront setback controls and maximum allowable impervious.
- (7) Plants indigenous to Bald Head Island (identified as “Native” on the plant list) should be the predominant source for landscape plans. It is required that a minimum of 70% of the new plant material be native to Bald Head Island. The use of non-native plants (see glossary for definition) is limited to a maximum of 10% of the plan. Up to 30% of the plant material may be NC native. The plant lists are subject to change and plants not on these lists may be considered.
- (8) No known invasive plants may be planted. (See Plant Lists)
- (9) Artificial plants are not allowed.
- (10) During construction, naturalized areas of the property that are not within the CRB approved building area (denoted by the limits of construction fencing) must not be disturbed. Any areas outside the limits of construction fencing that are disturbed must be restored to their original natural character.
- (11) The clearing of understory is not permitted in setbacks except as permitted in these design standards within six feet of the structure, or as necessary for an approved site plan or landscape plan. reflected in the approved site plan or landscape plan. For example, some clearing within a setback may be required for driveway access. All clearing for new construction must be reflected in the CRB approved plan.
- (12) Water conservation is an important Bald Head Island issue. Drip irrigation to

maximize water effectiveness is strongly recommended. The plant selection should consider limiting use of drip irrigation to the first year for the establishment of new plantings.

- (f) **Recommended plant list.** The lists are based upon plants that have been found to be native to Bald Head Island, native to North Carolina and examples of some of the non-native plants that have been planted on Bald Head Island. The distinction between native and non- native species is important because native species have generally adapted and evolved with the competing species, predators, and diseases of an area over many centuries or longer. Bald Head Island native plants support indigenous wildlife, habitats, ecosystem function and ecosystem services. There are suggestions for which plants typically do well in the various micro-island environments. The “please don’t plant me” list also includes common non- native invasive plants. Lawns are not allowed.

In reviewing landscape plans, the CRB will consider plants not on these lists provided they are not considered invasive or aggressive. Reference Plant list: appendix A.6

APPENDIX.

A.1. Parking Space Requirements.

- Size.
 - 7' x 13' area should be allocated to accommodate 6 seat carts

- Count.
 - All developments in all zoning districts shall provide enough parking spaces to accommodate the number of vehicles attracted to the intended use.
 - The table of parking requirements cannot and does not cover every possible situation that may arise. In cases not specifically covered the CRB has the authority to determine the parking requirements using the table as a guide.

Building Type	Type of Use	Parking Space Requirement
Type A & D	Mixed use	2/ dwelling unit
	Residential	1/ bedroom unit
	Commercial/office with little or no client traffic	1/ 400 gross sf commercial/ office
	Commercial/office designed to serve clients on the premises	1/ 200 gross sf
	Commercial/retail	1/ 400 gross sf
	Hospitality	2/ six seats in venue
Type B	Single use: Service/storage/warehousing	2/ min. dedicated private spaces 4/ designated customer
	Single use: commercial/office	1/ 400 gross sf
Type C	High density: mixed use	2/ dwelling unit
	Residential	1/ bedroom unit
	Commercial/retail	1/ 400 gross sf
	Hospitality	2/ six seats in venue
Type E	Institutional/public service	special use permit designation

A.2. Setback Requirements.

Building Type	Location/District	Front (measured from street edge)	Side	Rear
Type A Mixed use residential & commercial	Federal Road/Shoals Alley Development Bridge-Lot	25' setback Parking/Planting (10'-17') Sidewalk (8')	10'	10'
Type B Commercial, service, storage, warehousing	Edward Teach Wynd	50' setback 20' planted buffer 30' parking, storage, etc.	25'	35'*
Type C Mid Island Commercial & Residential, Marina, Harbour Commercial & Residential	Edward Teach Wynd Maritime Way*** Marina/Transportation Expansion Area	35' setback 15' parking, planting, trees 20' planting, sidewalk, seating	8'	10'*
Type D Mixed use residential & commercial	Muscadine Corridor	35' setback 15' parking, trees 20' planting (12'), sidewalk (8')	10'	10'
Type E Institutional Campus, Public Service Buildings	Old Baldy Historic District Conservancy Riverfront Public Services Areas	Special Use Permit		
New Streets: Building type, setback, and yard standards shall be determined by the Commercial Review Board.				

*Additional buffer may be required on properties bordering residential areas. Verify with CRB administrator for all special conditions.

**Corner lots: front setback applies to both streets.

***Access to Development in the Maritime Way District must be from Maritime Way, a 35' rear setback is required along North Bald Head Wynd.

A.3. Submission requirements.

Note: All required drawings, forms, and fees must be submitted 2 weeks prior to scheduling a preliminary or final review date.

Draft review: It is recommended that applicants utilize the Preliminary Review requirements as a check list when preparing a plan for Draft Review

Preliminary review:

1. **CRB questionnaire.** See form in appendix A.4 and applicable fees.
2. **Topographic survey.** Must be sealed by a registered North Carolina surveyor. It must provide:
 - a. Property lines with dimensions and bearings
 - b. All easements
 - c. Existing contours at one-foot maximum intervals shown at MSL
 - d. Existing locations of all trees over 3" caliper at 48" height above grade and approximate canopy
 - e. North arrow
3. **Schematic drawings.**
 - a. **Tree removal, material storage, site access plan**
 - a. Survey
 - b. Context map indicating everything within 100' of the site.
 - c. Building outline/footprint
 - d. Identify trees to be removed by marking and/or labeling them.
 - e. Table identifying species and caliper inches of trees being removed.
 - f. Notes and details on how tree protection will be handled on site.
 - g. Material delivery storage/laydown area
 - h. Contractor access point, parking
 - i. Dumpster location
 - j. Port-a-John location
 - k. Signage location
 - b. **Site plan.**
 - a. North arrow
 - b. Site Data Summary
 - Building data
 - Building type (based on design standards)
 - Parking calculations
 - Use data
 - Setbacks
 - Buffers
 - Impervious data
 - Any other applicable information
 - c. Property lines with dimensions and bearings
 - d. Existing and proposed contours

- e. Roof plan shown to side at same scale
- f. Roof overhang dashed.
- g. Mechanical and service equipment location(s)
- h. Conceptual site lighting
- i. Conceptual landscaping
- j. Signage location(s)
- k. First floor elevation (FFE)
- l. Setback limits shown.
- m. Drives and walks
- n. FEMA Zone designation and base flood elevation
- o. Limits of construction line (sand fence line)
- p. Building signage (location) per the Village of Bald Head Island Code of Ordinances.
- l. Parking and paving, extent, and material
- m. Loading zones and fire lanes
- n. Footprint of adjacent development
- o. Storm water retention area and size

c. Floor plans.

- a. Rooms identification
- b. All walls, windows and doors with swings identified
- c. All overhangs of floors or roofs above shown as dashed lines
- d. Dimension overall limits of plans
- e. Ground level plan to indicate pilings, enclosures, driveway and parking locations, stairways, garage, garbage/trash/dumpster enclosure/screening plan and HVAC enclosure/screening plan

d. Elevations.

- a. Show finish grades
- b. Show screening type and location (this includes screening utilized for the HVAC and garbage/trash/dumpster enclosures)
- c. Indicate overall height from virgin grade and finished grade to high point of roof

Final review: The Final Review application should include all items required in the preliminary review as well as the additional items listed below. The final design drawings may be presented in a variety of formats, but must contain the following:

- 1. CRB questionnaire.** In final form
- 2. CRB paint/color application.** (See form in appendix A.5)
- 3. Final drawings.**
 - a. Architectural site plan.**
 - Revised as required by preliminary review
 - Date of plan preparation, project name, address, property owner, northarrow, and graphic scale
 - All impervious calculations

- Ground floor plan (or first floor plan if less than 6' above grade) with entry area and all stairs delineated and roof and deck lines shown as dashed line
 - First floor elevation (FFE)
 - HVAC units and garbage/trash/dumpster enclosures
 - Locate electric meter locations (including any necessary platforms or steps)
 - Limits of construction line (sand fence line) and location for storage of construction materials
 - Parking, loading zones, fire lanes and paving, including dimensions and materials.
 - Exterior light locations, lighting architectural cut sheets or specifications, and number of fixtures, per the Village of Bald Head Island Code of Ordinances.
 - Details for all site signage
- b. Floor plans.**
- Revised as required by preliminary review
 - Include foundation plan
 - All walls and wall thicknesses.
 - Dimension overall limits of plans
- c. Elevations.**
- Revised as required by preliminary review
 - Show finish grades
 - Show screening type and location (this includes screening utilized for the HVAC, electric meters, and garbage/trash/dumpster enclosures)
 - Indicate overall height from ground to ridge of roof
 - Indicate overall height from virgin low point under the building to ridge of roof.
 - Provide details for all building and site signage
- d. Sections.**
- Scaled as required to understand the details
 - Typical building section from ground to roof ridge
 - Typical wall section at minimum $\frac{3}{4}$ " to 1'-0" scale
 - Typical decks and railings details
 - Typical porch details
 - Typical lattice or grade screening details
- e. Engineering drawings.**
- Provide civil site plans as required for storm water and utilities, with details for roads, paving, curbing, drains and site features
 - ~~○ Provide structural plans and details~~
 - ~~○ Provide PME building drawings, sections and schedules~~
- f. Landscape plan.**
- Indicate the variety, size, location and number of all plant material
 - Indicate the number, types and limits of seeded/sprigged areas

- Notation of irrigation components and a layout of the zones
- Include plans and details for any permanent project features not shown on the civil or architectural plans

4. Village building inspector technical review

A.4. Submission forms.

ARCHITECTURAL REVIEW APPLICATION

COMMERCIAL REVIEW BOARD
P.O. Box 3009, Bald Head Island, North Carolina 28461
(910) 457-9700 ext. 1004 sboyett@villagebhi.org

Date: _____

Please check one:

- Draft Review Application
- Preliminary Review Application
- Final Review Application

Lot # _____ BHI Street Name _____

Property Owner _____

Mailing Address: _____

Telephone _____ Email _____

Architect/Designer _____

Architect Address _____

Telephone _____ Email _____

Builder _____

Builder Address _____

Telephone _____ Email _____

Surveyor _____

Telephone _____ Email _____

Landscape Architect _____

Telephone _____ Email _____

Owner Signature

Applicant Signature (if different than owner)

PAINT/COLOR APPLICATION

COMMERCIAL REVIEW BOARD
P.O. Box 3009, Bald Head Island, North Carolina 28461
(910) 457-9700 ext. 1004 sboyett@villagebhi.org

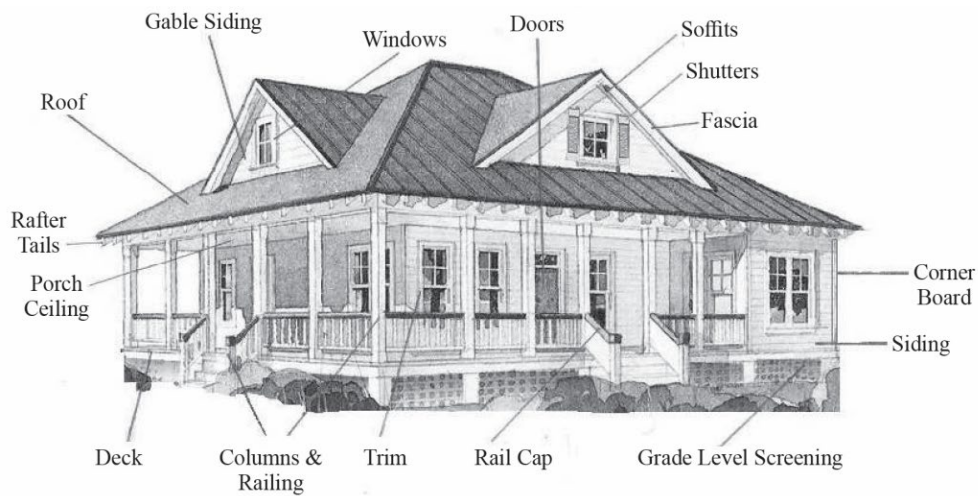
Date _____

Lot # _____ BHI Street Name _____

Property Owner _____

Mailing Address _____

Telephone _____ Email _____



Roof (manufactured roofing sample required):

Color/Number _____

Manufacturer _____

Material _____

MUST ATTACH MANUFACTURER-PROVIDED PAINT CHIPS BELOW

Rafters/Soffits:

Color/Number _____

Paint/Mfg. _____

Main Body of the Bldg:

Color/Number _____

Paint/Mfg. _____

Trim:

Color/Number _____

Paint/Mfg. _____

Exterior Doors:

Color/Number _____

Paint/Mfg. _____

Grade Level Screening:

Color/Number _____

Paint/Mfg. _____

Porch Ceiling:

Color/Number _____

Paint/Mfg. _____

Window Shutters:

Color/Number _____

Paint/Mfg. _____

Deck:

Color/Number _____

Paint/Mfg. _____

Columns and Railing:

Color/Number _____

Paint/Mfg. _____

Other Accents:

Color/Number

Paint/Mfg.

Owner Signature

Applicant Signature (if different than owner)

CHANGE REVIEW APPLICATION

COMMERCIAL REVIEW BOARD
P.O. Box 3009, Bald Head Island, North Carolina 28461
(910) 457-9700 ext. 1004 sboyett@villagebhi.org

Date _____

Lot # _____ BHI Street Name _____

Property Owner _____

Mailing Address _____

Telephone _____ Email _____

Architect/Designer _____

Telephone _____ Email _____

Contractor/Representative _____

Telephone _____ Email _____

Change Description _____

Reason for Change _____

**PLEASE ATTACH SKETCH OF PROPOSED CHANGES, ELEVATIONS, FLOOR PLANS.
MUST BE TO SCALE.**

Owner Signature

Applicant Signature (if different than owner)

REVIEW QUESTIONNAIRE

COMMERCIAL REVIEW BOARD
P.O. Box 3009, Bald Head Island, North Carolina 28461
(910) 457-9700 ext. 1004 sboyett@villagebhi.org

Date: _____

To be completed by all designers submitting documents for approval at Draft, Preliminary, and Final stages.

1. Has the building been designed according to the State of North Carolina Building Code, especially regarding Americans with Disabilities Act (ADA)? Yes No
2. Is the designer familiar with CAMA, FEMA, and Village of Bald Head Island Zoning requirements for this site? Yes No
3. What is the FEMA Flood Zone for the property? _____
4. Has the designer attempted to minimize the removal or damage of existing vegetation, especially plants of special concern? Yes No
5. Has the structure been staked out on the lot (required for preliminary)? Yes No

Date staked: _____ (Trees to be removed must be tied with red surveyor's tape).

6. Area of lot (sq. ft.) _____
7. Building type (refer to commercial review guidelines): _____
8. Lowest natural point beneath building (MSL) _____
9. Height of structure (highest roof ridge) above this point _____
10. First floor elevation (FFE) _____ (maximum of 2' above FEMA or 4' above average grade around perimeter exterior walls, whichever is greater).
11. Area under perimeter of all construction (building footprint) including all decks, stairs, and garages, excluding roof overhang. _____
12. Mean finished grade within this footprint. _____
13. Percentage of site to be graded (This area should be kept to a minimum and generally include on the building pad, drive and walk areas). _____ %
14. Number of trees 3 or more inches in caliper at 4' above grade proposed to be removed. _____

15. Heated first floor area. _____

16. Heated second floor area. _____

17. Heated third floor area. _____

18. Total heated area. _____

19. Total sq. ft. of porches. _____

20. Porch screen material if applicable. _____

21. Total of deck and balconies. _____

22. Are any variances from CRB requirements being requested under this application? Yes No

If yes, please describe and give reason _____

23. Has the architect submitted required drawing to the CRB Administrator? Yes No

24. Has the architect submitted an original survey prepared by a licensed land surveyor or civil engineer?
 Yes No

To the best of my knowledge, the foregoing statements are true.

ARCHITECT'S SIGNATURE

DATE

Architect's Seal:

Owner Signature

Applicant Signature (if different than owner)

A.5. Schedule of commercial construction review fees.

APPLICATION REVIEW FEES:

New Construction

- \$5,000 New construction review fee for up to 3 reviews (this includes any combination of draft, preliminary or final review submittals)
- \$1,500 New construction review fee for additional reviews beyond those mentioned above.

Major Renovations

- \$4,000 Category I means a renovation to heated spaced of 1000-1599 sq. ft. or non-heated space 1200 sq. ft. or greater. Note that major renovations affecting 1600 heat sq. ft. and over, or renovations involving 50% of the existing structure to be removed or revised are subject to new construction fees and guidelines.
- \$3,000 Category II means a renovation to heated space of 250-999 sq. ft. or non-heated space of 500-1199 sq. ft.
- \$2,000 Category III means a renovation to heated space of less than 250 sq. ft. or non-heated space of 250-499 sq. ft.

Minor Renovations

- \$600 Category I means a renovation to non-heated space of less than 250 sq. ft., hardscape changes to landscape, or any other renovation not otherwise categorized.
- \$400 Category II means a renovation that changes an existing feature, such as a door, window, roof materials, or decorative item. Note that repair or replacement of an existing feature with the same or substantially the same feature does not constitute a renovation. For example, this Category II minor renovation does not include repainting a feature of a conforming structure with the same color.

Plant material change: No charge for plant material change. However, landscape change plans including hardscape material such as gravel, exterior lighting, pavers, decking, etc, must fill out a minor change application and include a \$300 non-refundable review fee.

CRB approval is required for all of the above situations, even if a fee is not required. For

new construction and major renovations, the review fee is due at or before the preliminary submittal. A submittal will not be placed on the meeting agenda for preliminary review if the fee is not timely received.

The fees for new construction and major renovations cover a preliminary and final review of the project. If another formal review is needed, an additional review fee must be paid. This requirement is intended to encourage the investment of appropriate preparation in the original submittal, to simplify and expedite the approval process.

For a submittal to be treated as a re-submittal, there can be no changes to the building or project other than those required by changes, if any, in the standards. All re-submittals will be subject to the standards in effect as of the re-submittal date. Any changes other than those necessary to meet current design standard requirements will be considered new construction, subject to a new construction fee.

Please make checks payable to: VILLAGE OF BALD HEAD ISLAND
Mail payment to: Stephen Boyett, Development Services Administrator
P.O. Box 3009, Bald Head Island, North Carolina 28461

A.6. Landscape Material.

PLANT LIST

COMMON NAME	BOTANICAL NAME	EASILY SOURCED LOCALLY	DUNE	EDGES of DUNE, MARITIME FOREST OR MARSH	MARITIME FOREST
NATIVE TO BALD HEAD ISLAND					
TREES					
American Holly **	<i>Ilex opaca & its cultivars</i>	✓			X
Cabbage Palmetto/ Sabal Palm (*) (**)	<i>Sabal palmetto</i>	✓		X	X
Carolina Laurel Cherry	<i>Prunus caroliniana</i>	✓			X
Coastal American Hornbeam / Ironwood	<i>Carpinus caroliniana var. caroliniana</i>	✓			X
Coastal Red Cedar / Red Cedar **	<i>Juniperus silicicola & its cultivars</i>	✓	X	X	X
Dogwood / Flowering Dogwood	<i>Cornus florida/ Benthamidia florida</i>	✓			X
Eastern Red Cedar	<i>Juniperus virginiana & its cultivars</i>	✓	X		X
Live Oak **	<i>Quercus virginiana</i>	✓		X	X
Loblolly Pine	<i>Pinus taeda</i>	✓		X	X
Pignut Hickory	<i>Carya glabra</i>	✓		X	X
Red Bay	<i>Persea borbonia</i>			X	X
Red Mulberry	<i>Morus rubra</i>				X
Sand Laurel Oak **	<i>Quercus hemisphaerica / laurifolia</i>	✓			X
Sand Live Oak (tree-form)	<i>Quercus geminata</i>	✓		X	
Southern Toothache Tree/ Hercules'-club	<i>Zanthoxylum clava-herculis</i>		X	X	
Wax-myrtle (tree-form)	<i>Morella cerifera / Myrica cerifera</i>	✓	X	X	
Wild Olive/ Devilwood (tree-form)	<i>Cartrema americanum / Osmanthus americanus</i>	✓		X	X
Yaupon/ Yaupon Holly** (tree-form)	<i>Ilex vomitoria & its cultivars</i>	✓	X	X	X
SHRUBS					

Beautyberry/American Beautyberry	<i>Callicarpa americanum</i>	✓		X	X
Dune Marsh-elder	<i>Iva imbricata</i>		X		
COMMON NAME	BOTANICAL NAME	EASILY SOURCED LOCALLY	DUNE	EDGES of DUNE, MARITIME FOREST OR MARSH	MARITIME FOREST
Dune Prickly-pear cactus	<i>Opuntia drummondii</i>		X	X	
Dwarf Yaupon	<i>Ilex vomitoria</i> 'Schillings Dwarf' & 'Nana'	✓	X	X	X
Farkleberry / Sparkleberry	<i>Vaccinium arboreum</i>	✓		X	
Eastern Winged Sumac	<i>Rhus copallinum</i> var. <i>copallinum</i>	✓		X	
Maritime Marsh-elder	<i>Iva frutescens</i> var. <i>frutescens</i>			X	
Mound-lily Yucca/Spanish Bayonet*	<i>Yucca gloriosa</i>		X	X	
Prickly-pear cactus	<i>Opuntia mesacantha</i> spp. <i>mesacantha</i>	✓	X	X	
Sand Live Oak (multi-trunk)	<i>Quercus geminate</i>	✓	X	X	
Silverling/ Mullet Bush	<i>Baccharis halimifolia</i>	✓		X	
Spanish Dagger Yucca	<i>Yucca aloifolia</i>		X	X	
Wax-myrtle	<i>Morella cerifera</i> / <i>Myrica cerifera</i>	✓	X	X	
Weeping Yaupon	<i>Ilex vomitoria</i> 'Pendula'	✓	X	X	X
Wild Olive/ Devilwood	<i>Cartrema americanum</i> / <i>Osmanthus americanus</i>	✓		X	X
VINES					
Beach Morning-glory*	<i>Ipomoea imperati</i>		X		
Carolina Jessamine	<i>Gelsemium sempervirens</i>	✓		X	X
Carolina Supplejack	<i>Berchemia scandens</i>				X
Coastal Morning-glory / Tie Vine	<i>Ipomoea cordatotriloba</i> / var. <i>cordatotriloba</i>	✓	X	X	
Coral Honeysuckle	<i>Lonicera sempervirens</i> & its cultivars	✓		X	X
Peppervine	<i>Nekemias arborea</i> / <i>Ampelopsis arborea</i>			X	X
Saltmarsh Morning-glory	<i>Ipomoea sagittata</i>			X	X
Swallow-wort / Sand-vine	<i>Pattalias palustre</i>			X	
Yellow Passionflower	<i>Passiflora lutea</i>	✓		X	X

COMMON NAME	BOTANICAL NAME	EASILY SOURCED LOCALLY	DUNE	EDGES of DUNE, MARITIME FOREST OR MARSH	MARITIME FOREST
ANNUALS, PERENNIALS AND FERNS					
Annual Sand Bean	<i>Strophostyles helvola</i>		X	X	
Annual Sea-pink	<i>Sabatia stellaris</i>			X	
Beach Blanket-flower	<i>Gaillardia pulchella</i> var. <i>drummondii</i>		X	X	
Camphorweed	<i>Heterotheca subaxillaris</i>		X	X	
Carolina Sea-lavender	<i>Limonium carolinianum</i>			X	
Common Germander	<i>Teucrium canadense</i>			X	X
Creeping Frogfruit/ Turkey Tangle	<i>Phyla nodiflora</i> var. <i>nodiflora</i>	✓		X	
Dune Blue Curls *	<i>Trichostema nesophilum</i> / <i>Trichostema</i> sp.#1		X	X	
Dwarf Palmetto	<i>Sabal minor</i>	✓		X	X
Eastern Horse-mint	<i>Monarda punctata</i> var. <i>punctata</i>	✓		X	
Ebony Spleenwort Fern	<i>Asplenium platyneuron</i>	✓			X
Elephant's- foot	<i>Elephantopus</i> sp.				X
Northern Seaside Spurge / Northern Sandmat	<i>Euphorbia polygonifolia</i>		X		
Partridge-berry	<i>Mitchella repens</i>	✓			X
Robins- plantain	<i>Erigeron pulchellus</i>			X	X
Salt-marsh Aster	<i>Symphyotrichum tenuifolium</i>			X	
Samphire/Glasswort	<i>Salicornia virginica</i>			X	
Seabeach Amaranth *	<i>Amaranthus pumilus</i>		X		
Silverleaf Croton/ Beach-tea	<i>Croton punctatus</i>		X	X	
Silver Seaside Oxeye	<i>Borrchia frutescens</i>			X	
Southern Seaside Goldenrod	<i>Solidago mexicana</i>	✓	X	X	
Southern Seaside Spurge/Dixie Sandmat *	<i>Euphorbia bombensis</i>		X	X	
St. Andrew's Cross	<i>Hypericum hypericoides</i>			X	
GRASSES, SEDGES AND RUSHES					
Bitter Seabeach Grass	<i>Panicum amarum</i> & its cultivars	✓	X	X	
COMMON NAME	BOTANICAL NAME	EASILY SOURCED LOCALLY	DUNE	EDGES of DUNE, MARITIME	MARITIME FOREST

				FOREST OR MARSH	
Black Needle Rush	<i>Juncus roemerianus</i>			X	
Dune Hair Grass / Sweet Grass	<i>Muhlenbergia sericea</i>	✓	X	X	
Elliott's Lovegrass	<i>Eragrostis elliottii</i>	✓		X	
Hairgrass/ Purple Muhly	<i>Muhlenbergia capillaris</i>	✓	X	X	
Maritime Bushy Bluestem	<i>Andropogon tenuispatheus</i>	✓		X	
Narrowleaf Whitetop Sedge / Starrush	<i>Rhynchospora colorata</i>	✓		X	
Saltmarsh Cordgrass / Smooth Cordgrass	<i>Spartina alterniflora</i>	✓		X	
Saltmarsh Wild-rye	<i>Elymus halophilus/ E.virginicus var. halophilus</i>	✓		X	X
Sea Oats **	<i>Uniola paniculata</i>	✓	X		
Seaside Little Bluestem	<i>Schizachyrium littorale</i>	✓	X	X	
Small Saltmeadow Cordgrass/Salt hay	<i>Spartina patens</i>			X	
Two-flower Melic	<i>Melica mutica</i>			X	
Woods-grass / Basket-grass*	<i>Oplismenus setarius</i>				X
NATIVE TO NORTH CAROLINA (Not native to BHI)					
TREES					
American Persimmon	<i>Diospyros virginiana</i>				X
Chickasaw Plum	<i>Prunus angustifolia</i>				X
Eastern Red Maple	<i>Acer rubrum var.</i>	✓			X
Eastern Redbud	<i>Cercis canadensis & its cultivars</i>				X
Fringe-tree	<i>Chionanthus virginicus</i>				X
Southern Magnolia	<i>Magnolia grandiflora & its cultivars</i>				X
Sweet Bay Magnolia	<i>Magnolia virginiana var. virginiana & its cultivars</i>				X
Water Oak	<i>Quercus nigra</i>				X
COMMON NAME	BOTANICAL NAME	EASILY SOURCED LOCALLY	DUNE	EDGES of DUNE, MARITIME FOREST OR MARSH	MARITIME FOREST

Wild Black Cherry	<i>Prunus serotina</i>				X
SHRUBS					
Coastal Sweet-Pepperbush / Summersweet	<i>Clethra alnifolia</i>			X	
Curlyleaf Yucca / Adam's Needle	<i>Yucca filamentosa</i>		X	X	X
Southern Black Haw	<i>Viburnum rufidulum</i>				X
Southern Wild Raisin/ Possumhaw	<i>Viburnum nudum</i>			X	X
Sweet-shrub / Carolina Allspice	<i>Calycanthus floridus</i>				X
Sweetspire/ Virginia Willow	<i>Itea virginica</i>			X	X
VINES					
Cross-vine	<i>Bignonia capreolata</i> & its cultivars	✓		X	
Maypops / Purple Passionflower	<i>Passiflora incarnata</i>	✓		X	
ANNUALS PERENNIALS AND FERNS					
Coral Bean / Cardinal-spear	<i>Erythrina herbacea</i>			X	X
Black-eyed Susan	<i>Rudbeckia hirta</i>			X	
Eastern Butterflyweed	<i>Asclepias tuberosa</i> var. <i>tuberosa</i>			X	
Seashore-mallow	<i>Kosteletzkya pentacarpos</i>			X	
GRASSES, SEDGES AND RUSHES					
American Beachgrass **	<i>Calamagrostis breviligulata</i> / <i>Ammophila breviligulata</i>	✓	X		
Bottlebrush Grass	<i>Elymus hystrix</i>			X	X
Broomsedge	<i>Andropogon virginicus</i> var. <i>virginicus</i>	✓		X	
Eastern Wild-rye	<i>Elymus virginicus</i>			X	
Little Bluestem	<i>Schizachyrium scoparium</i> & its cultivars			X	
Purple Lovegrass	<i>Eragrostis spectabilis</i>	✓		X	
COMMON NAME	BOTANICAL NAME	EASILY SOURCED LOCALLY	DUNE	EDGES of DUNE, MARITIME FOREST OR MARSH	MARITIME FOREST
Soft Rush	<i>Juncus effusus</i>			X	

Switchgrass	<i>Panicum virgatum</i> var. <i>virgatum</i> & its cultivars	✓		X	
NON-NATIVE PLANTS (Not native to BHI or North Carolina)					
TREES					
California Fan Palm	<i>Washingtonia filifera</i>			X	
Canary Date Palm	<i>Phoenix canariensis</i>			X	
Edible Fig	<i>Ficus carica</i>			X	
Needle Palm	<i>Rhapidophyllum hystrix</i>			X	
Windmill Palm	<i>Trachycarpus fortunei</i>			X	
SHRUBS					
Chinese Fringe Flower	<i>Loropetlam chinense</i>			X	
Chinese Juniper	<i>Juniperus chinensis</i> & its cultivars		X	X	
Indian Hawthorn	<i>Rhaphiolepis spp.</i> & its cultivars		X	X	
Loquat	<i>Eriobotrya japonica</i>			X	
Oleander (Mediterranean native)	<i>Nerium oleander</i>			X	
Pittosporum	<i>Pittosporum tobira</i> & its cultivars			X	X
Rosemary	<i>Rosmarinus officinalis</i>			X	
Sago Palm	<i>Cycas revoluta</i>			X	X
VINES					
Confederate Jasmine	<i>Trachelospermum jasminoides</i>			X	
GRASSES, ANNUALS, PERENNIALS and FERNS					
Blue Wild Indigo	<i>Baptisia australis</i>			X	
Coreopsis	<i>Coreopsis lanceolata</i>			X	
COMMON NAME	BOTANICAL NAME	EASILY SOURCED LOCALLY	DUNE	EDGES of DUNE, MARITIME FOREST OR MARSH	MARITIME FOREST
Florida Gama Grass / Dwarf Fakahatchee (<i>While native to Florida, is used in golf course communities along the eastern seaboard</i>)	<i>Tripsacum floridanum</i>			X	

East Florida Beach Sunflower (Florida native)	<i>Helianthus debilis</i>			X	
Gaura	<i>Gaura lindheimeri</i>			X	
Japanese Holly Fern	<i>Crytomium falcatum</i>				X
Lantana (Central & South America native)	<i>Lantana camara</i>			X	
Mexican Bush Sage	<i>Salvia leucantha</i>			X	
Plains Coreopsis / Calliopsis (Midwest native)	<i>Coreopsis tinctoria</i> var. <i>tinctoria</i>			X	
Prairie Dropseed	<i>Sporobolus heterolepis</i>			X	
Russian Sage	<i>Perovskia atriplicifolia</i>			X	
Silverleaf Sunflower (Texas native)	<i>Helianthus argophyllus</i>			X	
Weeping Love Grass (Southern Africa native)	<i>Eragrostis curvula</i>			X	
INVASIVE NOT NATIVE "DON'T PLANT ME!"					
TREES					
Callery Pear/ Bradford Pear, etc.	<i>Pyrus calleryana</i> & its cultivars				
Chinaberry tree	<i>Melia azedarach</i>				
Chinese Tallow tree / Popcorn tree	<i>Triadica sebifera</i>				
Mimosa/ Silk Tree	<i>Albizia julibrissin</i>				
Princess Tree	<i>Paulownia tomentosa</i>				
Tree of Heaven	<i>Ailanthus altissima</i>				
White Mulberry	<i>Morus alba</i>				
White Poplar	<i>Populus alba</i>				
SHRUBS					
Amur Honeysuckle	<i>Lonicera maackii</i>				
COMMON NAME	BOTANICAL NAME	EASILY SOURCED LOCALLY	DUNE	EDGES of DUNE, MARITIME FOREST OR MARSH	MARITIME FOREST
Autumn Olive	<i>Elaeagnus umbellata</i>				
Burning Bush	<i>Euonymus alata</i>				
Butterfly bush	<i>Buddleia davidii</i> & its cultivars				
Chinese Privet	<i>Ligustrum sinense</i> & its cultivars				

Fragrant Honeysuckle	<i>Lonicera fragrantissima</i>				
Hardy Orange / Wild Orange	<i>Poncirus trifoliata</i>				
Japanese Barberry	<i>Berberis thunbergii & its cultivars</i>				
Japanese Privet	<i>Ligustrum japonicum & its cultivars</i>				
Japanese Spiraea	<i>Spiraea japonica & its cultivars</i>				
Leatherleaf Mahonia	<i>Mahonia bealei & its cultivars</i>				
Morrow Honeysuckle	<i>Lonicera morrowii</i>				
Multiflora Rose	<i>Rosa multiflora</i>				
Nandina (Asia native)	<i>Nandina domestica & its cultivars</i>				
Russian Olive	<i>Elaeagnus angustifolia</i>				
Salt-cedar	<i>Tamarix spp.</i>				
Thorny-olive	<i>Elaeagnus pungens</i>				
VINES					
Beach Vitex	<i>Vitex rotundifolia</i>				
Chinese Wisteria	<i>Wisteria sinensis & its cultivars</i>				
Chocolate Vine	<i>Akebia quinata</i>				
English Ivy	<i>Hedera helix & its cultivars</i>				
Japanese Honeysuckle	<i>Lonicera japonica & its cultivars</i>				
Japanese Wisteria	<i>Wisteria floribunda & its cultivars</i>				
Kudzu	<i>Pueraria montana</i>				
Mile-a-minute Vine	<i>Persicaria perfoliata</i>				
Oriental Bittersweet	<i>Celastrus orbiculatus</i>				
Porcelain-berry	<i>Ampelopsis brevipedunculata & its cultivars</i>				
COMMON NAME	BOTANICAL NAME	EASILY SOURCED LOCALLY	DUNE	EDGES of DUNE, MARITIME FOREST OR MARSH	MARITIME FOREST
Sweet Autumn Clematis (Asia native)	<i>Clematis terniflora</i>				
Wintercreeper	<i>Euonymus fortunei & its cultivars</i>				
ANNUALS PERENNIALS and FERNS					
Bicolor Lespedeza	<i>Lespedeza bicolor</i>				

Common Chickweed	<i>Stellia media</i>				
Gill-over-the-ground/ Ground Ivy	<i>Glechoma hederacea</i>				
Henbit	<i>Lamium purpureum</i>				
Hydrilla	<i>Hydrilla verticillata</i>				
Ivyleaf Speedwell	<i>Veronica hederifolia</i>				
Japanese Knotweed	<i>Polygonum cuspidatum</i>				
Parrotfeather	<i>Myriophyllum aquaticum</i>				
Purple Loosestrife	<i>Lythrum salicaria</i>				
Sericea Lespedeza / Chinese bushclover	<i>Lespedeza cuneata</i>				
Water-hyacinth	<i>Eichhornia crassipes</i>				
Yellow Flag Iris	<i>Iris pseudoacrous</i>				
GRASSES, SEDGES AND RUSHES					
Bamboo Running/Exotic	<i>Phyllostachys spp.</i>				
Chinese Silver Grass / Maiden Grass	<i>Miscanthus sinensis & its cultivars</i>				
Common Reed	<i>Phragmites australis spp. australis</i>				
Japanese Stilt-grass	<i>Microstegium vimineum</i>				
Johnson Grass	<i>Sorghum halepense</i>				
Pampas Grass (South America native)	<i>Cortaderia selloana or Cortaderia jubata</i>				
Torpedograss	<i>Panicum repens</i>				
Wayleaf Basketgrass	<i>Oplismenus hirtellus ssp. Undulatifolius</i>				
COMMON NAME	BOTANICAL NAME	EASILY SOURCED LOCALLY	DUNE	EDGES of DUNE, MARITIME FOREST OR MARSH	MARITIME FOREST
GROUND COVER					
Bigleaf Periwinkle	<i>Vinca major & its cultivars</i>				
Common Periwinkle	<i>Vinca minor & its cultivars</i>				

Source of plant information:

The native plant botanical and common names used in this document are based upon the work of Alan S. Weakley of the University of North Carolina Herbarium (NCU), North Carolina Botanical Garden and University of North Carolina at Chapel Hill. His document is titled “*Flora of the Southeastern United States;*” Edition of 20 October 2020 and is

available at: http://www.herbarium.unc.edu/FloraArchives/WeakleyFlora_2015-05-29-pdf

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Mayes, C. H. 1984. "The Flora of Smith Island, Brunswick County, North Carolina." M.S. Thesis, University of North Carolina-Wilmington.

VegBank Website - www.vegbank.org (search on Bald Head Island, plots used 1988, 2005, and 2009)