

# BALD HEAD ISLAND CONTRACTOR HANDBOOK 2024

---

Prepared by  
The Village of Bald Head Island



## About Bald Head Island

Bald Head Island is a barrier island located about 3 miles across the Cape Fear River from Southport, North Carolina. There is no bridge to Bald Head Island. It is a unique island community where the residents strive to live in harmony with nature. This fragile barrier island contains four ecosystems comprised of beachfront, dune ridge, maritime forest, and the marsh. As a community, we strive to live in harmony with each other and our island visitors, respecting the land and our way of life.

The Village of Bald Head Island has established ordinances to govern the island. All construction sites, work, and schedules are subject to these ordinances. Some of them are discussed in detail in this handbook. The entire code of ordinances can be found here: [https://codelibrary.amlegal.com/codes/baldheadisland/latest/baldheadisland\\_nc/0-0-0-1](https://codelibrary.amlegal.com/codes/baldheadisland/latest/baldheadisland_nc/0-0-0-1) or on the Village website at [www.villagebhi.org](http://www.villagebhi.org). Feel free to contact the Village if you have any questions about its ordinances or the contents of this handbook at [public.information@villagebhi.org](mailto:public.information@villagebhi.org) or 910-457-9700 ext. 1025.

## SOME IMPORTANT REMINDERS

### DO NOT HARASS WILDLIFE

(For example, you will be fined \$500 for feeding, approaching, or harassing an alligator)

### DO NOT LITTER – THIS INCLUDES CIGARETTE BUTTS

(Pocket ashtrays are available)

### THE VILLAGE-WIDE SPEED LIMIT IS 18 MPH UNLESS POSTED OTHERWISE

(This means ALL vehicles and if posted, it will be BELOW 18 MPH)

### CALL 911

(If you need Police/Fire/Paramedics to come to you, call 911 and  
**tell the operator you are on Bald Head Island**)

*Please note: Bald Head Island Transportation, Inc. owns and operates the ferries and trams. Under a separate agreement with Bald Head Island Limited, LLC, Bald Head Island Transportation, Inc. operates the barge and marina properties (including the parking facilities). The Village of Bald Head Island makes every effort to ensure that the information provided in this handbook pertaining to these services is accurate; however, we do not warrant the accuracy of the information. You should check with Bald Head Island Transportation, Inc. for the most current information.*

## Getting to Bald Head Island

Almost everyone gets to Bald Head Island via ferry. Bald Head Island Transportation, Inc. operates a passenger ferry and a contractor ferry. The tickets for each ferry are different and someone who purchases a contractor ferry ticket must use the contractor ferry when it is in service.

### Departing Location

The ferries depart the mainland from Deep Point Marina, which is located in Southport, North Carolina (1301 Ferry Road) just before the State-operated Southport-Fort Fisher Ferry landing. See [Appendix A](#) for a map of Deep Point Marina.

### Parking at Deep Point Marina

Contractor parking is available at Deep Point Marina for a daily fee or by obtaining a parking card. The contractor lot is located off Ferry Road and is the last road on the right before getting to the Fort Fisher Ferry landing. Daily fees are paid upon exit from the lot at the ticket booth or at the kiosk near the baggage area at the ferry landing. Parking space is limited. Parking permits may be issued annually upon approval and payment. For more information about rates and annual parking permits call 910-457-7289. See [Appendix A](#) for a map of the Deep Point Marina.

### Ferry Schedule

Bald Head Island is four nautical miles from Deep Point Marina. It takes 20 minutes to get to Bald Head Island on the ferry. For most of the year, the contractor ferry schedule has the ferry departing on the mainland on the half-hour and the island on the hour beginning at 5:30 a.m. The winter schedule may be abbreviated, and the summer schedule expanded. Go to the ferry website at [www.baldheadislandferry.com](http://www.baldheadislandferry.com) or call 910-457-5003 for rates, general information, and current schedule.

### Contractor Ferry Rules

- Smoking, food, beverages, and pets are prohibited inside the passenger cabin.
- There is no baggage service.
- Maximum of 8 feet total on items being carried on board.
- Items must be placed in the cargo area (back of the boat).
- Only one trip onto the boat with items, no going back for another load.
- All items must be able to be carried safely by one person, no two-man loads.
- All wheeled units are limited to two wheels and they must be easily and safely rolled onto the boat. No wagons, wheelbarrows, or four-wheel units.
- All items carried on the boat shall be stored out of the way as not to impede walkways.
- Only suitcases, backpacks, and personal items are to be taken into the passenger cabin.
- Cabin seats are for passenger comfort and not storage.
- No gas cans. The only gas permitted aboard is the gas in the unit.

## Getting to Bald Head Island Marina via Your Boat

The Bald Head Island Marina is located near buoy #13A at the mouth of the Cape Fear River and is accessible by boat from the Intracoastal Waterway, Cape Fear River, and the Atlantic Ocean. The full-service marina can accommodate vessels up to 100 feet in length, with 7' draft at MLW.

Contractors who bring passengers to the island by their own boat must return those passengers to the mainland by their own boat (Note: The U.S. Coast Guard governs and enforces the illegal transportation of passengers. Requirements can be found in USCG NVIC 07-94, 46 USC 2101 and <http://www.uscgboating.org>. You will also need to check local and state requirements.) Anyone who desires to return to the mainland via ferry will be required to purchase a ticket before boarding.

Marina slips are limited and are assigned when a reservation is made. Materials and workers are to be unloaded at the assigned slip even if dockage is unnecessary. To reserve a slip, call the dockmaster at 910-457-7380 or email [dockmaster@bhisland.com](mailto:dockmaster@bhisland.com) or use VHF Channel 16. For more information go to <https://www.baldheadisland.com/island/activities/marinas/bald-head-island-marina>.

## Bringing Vehicles, Cargo, and Supplies to Bald Head Island

The Bald Head Island Limited, LLC barge is available for carrying cargo, vehicles, supplies, and equipment to the island. The barge departs from the Deep Point Marina (1301 Ferry Road). Reservations for both to and from the island are required. It is recommended that reservations be made at least two weeks in advance, especially if returning the same day. Cancellations must be made at least 24 hours in advance to avoid getting charged the full rate. The Barge Office is open from 7:30 a.m. until 2:30 p.m. daily and is located near the contractor parking lot, which is located off Ferry Road, it is the last road on the right before getting to the Fort Fisher Ferry landing. See [Appendix A](#) for a map of the Deep Point Marina. No passengers are permitted aboard the barge. Drivers of trucks are permitted as “Persons in Addition to the Crew” per the US Coast Guard Certificate of Inspection.” Drivers only. No passengers.

Consumption of alcoholic beverages or possession of open containers is prohibited on the barge.

Please note that if you are bringing an Internal Combustion Engine (ICE) vehicle to the island that an ICE permit is required to use the Village maintained roads, and there are restrictions on hours of operation, size of vehicles and trailers, and certain areas of the island where ICE vehicles cannot travel. The next section covers the details of these restrictions and what is needed to receive an ICE permit. If you miss the barge for any reason, you must report to Contractor Services to arrange overnight parking. To return to the mainland you will take the contractor or passenger ferry back to Deep Point Marina.

Please visit [www.bhibarge.com](http://www.bhibarge.com) or call 910-457-5205 for information on rates, general information, and current schedules. The barge typically runs Monday through Friday with the last barge leaving the island at 3:00 p.m. Weather may affect operations of the barge (heavy wind, fog, etc.).

# Getting Around Bald Head Island

## Tram Service

Contractor ferry tickets include roundtrip transportation to the Village's Contractor Services Facility at 299 Edward Teach Extension. It does not include baggage service. This facility offers container rentals, ICE (Internal Combustion Engine) vehicles and golf cart parking, gas pumps, and lunchroom and restroom facilities (see [Appendix D](#) for prices). Upon arrival at the Bald Head Island Ferry landing, you will see trams lined up to transport contractors to the Contractor Services Facility. Consumption of alcoholic beverages or possession of open containers is prohibited on the trams.

## Golf Carts

Many contractors who work on the island regularly or on long-term projects bring their own golf carts over to the island by barge. Arrangements for parking these carts must be made in advance. Golf cart parking is available near the ferry landing on Marina Wynd and at the Village's Contractor Services Facility (299 Edward Teach Extension). Contact Bald Head Island Limited, LLC at 910-457-7380 for information, rates, and availability for the Marina Wynd parking lot. Contact the Contractor Services Department at 910-457-9700 ext. 1011 for information, rates, and availability for the parking at Contractor Services.

Golf carts must be registered with the Village of Bald Head Island and display a current permit. Permits can be obtained at the Public Safety Department (910-457-5252). All vehicles must be operated by a licensed driver and the license must be in the operator's possession. Gas-powered golf carts are prohibited on Village streets (effective 2019). Contact the Public Safety Department for additional information.

Daily golf cart rental is available through Cary Cart Company which has a rental location near the ferry landing. For more information go to <https://www.carycartco.com/bald-head-island-rentals/> or call 910-457-7333.

## Road Safety

Safety on the roads of Bald Head Island is critical because the roads are shared with pedestrians, bicycles, golf carts, and ICE (Internal Combustion Engine) vehicles. The island-wide speed limit is 18 MPH unless posted otherwise (if posted, it will be LOWER than 18 MPH). This is for ALL vehicles (golf carts and ICE). The rules of the road for the State of North Carolina apply to the roads on Bald Head Island, regardless of the type of vehicle.

Bald Head Island has areas of low hanging trees, narrow, roads and other hazards. If you are not familiar with the island and/or roads that support use of commercial vehicles, please contact the Department of Public Safety (at 910-457-5252) prior to leaving Deep Point Marina. Vehicle operators will be subject to damages and/or civil penalties for damage to property and/or trees.

See [Appendix E](#) for a Schedule of Penalties associated with violating North Carolina and Village of Bald Head Island laws related to transportation. See [Appendix J](#) for a route map for commercial vehicles.

## Parking

The following rules and regulations must always be observed:

- All persons operating commercial-use vehicles (gas-powered or electric) on Village streets must make advance arrangements for lawful parking of the vehicle outside of workday hours. Proof of these parking arrangements must be presented upon request or readily displayed on the vehicle.
- After workday hours, commercial-use vehicles should never be parked on individual lots or multifamily sites zoned for residential purposes.
- Unauthorized ICE vehicles are prohibited at the Bald Head Island Ferry Terminal.

- Vehicles parked in an inappropriate/restricted areas will be ticketed and will be towed, impounded or removed from the island at the owner’s expense for multiple offenses (See [Appendix E](#) for the Schedule of Penalties). **Leaving ICE vehicles parked in the right-of-way after workday hours is not acceptable. Vehicles must be parked in a lot (ex. Contractor Services lot). All vehicles parked at the Contractor Services lot MUST pay for parking.**

## ICE Permits

Permits for Internal Combustion Engine (ICE) vehicles can be purchased on a daily or annual basis. Daily permits can be purchased from the barge office. Annual permits are issued by the Village’s Public Safety Department. If you need to apply for and purchase an annual permit from the Village, the barge clerk will issue a temporary “no fee” pass. The Public Safety Department is located at 273 Edward Teach Extension and the phone number is 910-457-5252. To receive an ICE permit the contractor must provide proof of:

- Insurance
- State Inspection
- Current registration

Along with those documents and a completed permit application, proof of the need for an ICE permit will be considered before issuing a permit. The Village may issue the requested permit for an ICE vehicle if it is determined that the application has proven the following:

- The proposed use of the vehicle meets the need for which the permit is sought; and
- The proposed use of the vehicle may only be met reasonably by use of a vehicle powered by an internal combustion engine; and
- The application complies in all other respects with the aforesaid provisions.

Should a permit be granted, the permit holder is required to maintain proof of:

- A signed agreement to obey all Village rules and traffic regulations
- A current vehicle registration
- A current vehicle inspection pursuant to G.S. 20-183.2
- Insurance in amounts not less than those statutorily required for liability insurance under NC law.
- Any other information as may be required and determined by the Village from time to time.

## ICE Permit Fees

The current ICE permit fees are in [Appendix B](#) of this handbook. These fees are determined by the Village Council on an annual basis and effective from July 1<sup>st</sup> through June 30<sup>th</sup> of each year.

## ICE Vehicle Times of Operation

It is unlawful for any person to operate an ICE vehicle on Village streets at any time other than during workdays without a Special Use Permit.

Workdays are defined as ***the time period between 6:00 a.m. until 6:00 p.m. Monday through Friday. The following holidays nationally observed or otherwise, shall be non-workdays: New Year’s Day, Easter Friday, Memorial Day, Independence Day, Labor Day, Thanksgiving Thursday and Friday, and Christmas Eve through Christmas day. Provided, however, this definition shall not be construed to govern hours of work, such as on a job site, which is regulated by other Village Ordinances.***

Please note that commercial-use electric vehicles are exempt from workday restrictions if the vehicle meets the maximum dimensions (160 inches in length and 60 inches in width).

## Special Use Permits

Special Use Permits are issued by the Public Safety Department. Annual Special Use Permits may be granted to operate a heavy equipment vehicle or a public utility vehicle on Village streets. The fees for these Special Use Permits shall be in place of all other ICE annual permit fees. These permitted vehicles can operate on Village streets outside of workday hours.

Special Use Permits may be issued to operate vehicles or commercial-use trailers on streets with vehicle restrictions or outside of workdays. Special Use Permits may be issued on a daily or annual basis. A daily Special Use Permit fee may be assessed in addition to all required ICE permit fees.

## Areas with ICE Vehicle Restrictions

It is unlawful to operate ICE vehicles on the following Village roads/locations without a Special Use Permit:

**Maritime Way**  
**Shoals Alley**  
**Timber Bridge**

It is unlawful to operate ICE vehicles on **Edward Teach Wynd** for the purposes of through traffic.

Exceptions to the above restrictions include: Emergency vehicles, government vehicles, and Official Island Transportation System vehicles.

It is unlawful for any person to drive a vehicle on the **beaches** of Bald Head Island. Exceptions include the Bald Head Island Conservancy while being operated for its missions, emergency vehicles, and government vehicles while being operated at the direction of or for the benefit of the Village.

See [Appendix C](#) for maps of the restricted areas of the island.

## Size Requirements and Restrictions

It is unlawful to operate a commercial-use vehicle over twenty-eight feet (28) in length from bumper to bumper and twelve (12) feet in height without first securing a Village-escort and map of the expressly approved route of travel.

No commercial-use vehicle shall be allowed to remain overnight within the Village for a total of five (5) nights or more, during any consecutive twelve (12) month period if the overall dimensions exceed:

Maximum Allowable Dimensions	<u>Length</u>		<u>Width</u>
(a) Pick-up Trucks:	215 inches	AND	80 inches
(b) Cargo Vans:	200 inches	AND	82 inches
(c) Box Trucks:	28 feet	AND	12 feet



## **Trailers**

Commercial-use trailers are required to be registered and permitted for use on Village streets. No commercial-use trailer shall be permitted or approved for use on Village streets if the overall width exceeds seven (7) feet at its widest point from outside wheel edge to outside wheel edge and the overall length exceeds twenty (20) feet, not including the tongue. The same restrictions that apply to ICE vehicles also apply to trailers and Special Use Permits are required for use outside workday hours and in restricted areas.

## **Transition Plan for ICE Vehicles**

In 2019, the Village updated its Transportation Ordinance. Section 28-9 of the Code of Ordinances put into effect a transition plan for the Village to phase-out the use of ICE vehicles where feasible and commercially reasonable. See [Appendix F](#) for the Village's transition plan.

## Working on Bald Head Island

### Contractor Services Facility

The Village's Contractor Services Department facility is typically open Monday through Friday from 6:00 a.m. until 5:00 p.m. The operating hours change seasonally based on the [Bald Head Island Limited Contractor Ferry Schedule](#). The Contractor Services Facility is the drop-off and pick-up point for the contractor trams.

The Village of Bald Head Island Contractor Services Facility offers the following:

- Container rentals
- Storage unit rental (upon availability)
- Annual/temporary ICE vehicle parking
- Annual/monthly golf cart parking
- Unleaded gasoline and off-road diesel fuel sales
- Breakroom and restroom facilities

See [Appendix D](#) for the current price list for parking and storage containers. Visit [www.villagebhi.org](http://www.villagebhi.org) or call 910-457-9700 ext. 1011 for additional information.

### Work Site and Public Area Rules and Regulations

The following rules and regulations must always be observed:

- Contractors, subcontractors, and their employees should always wear shirts and shoes in all public areas.
- Inappropriate, lewd, or obscene designs or expressions should not be displayed and/or used on Bald Head Island and will not be allowed on the passenger ferries or dock areas.
- Worksites must be kept clean and orderly with trash and debris contained on-site.
- Littering, including the improper disposal of cigarette butts, is prohibited per Village Ordinance (Sec. 20-2). Village Hall has free pocket ashtrays available to all.
- Contractors should not possess or consume alcoholic beverages in public areas.
- Consumption of alcoholic beverages or possession of open containers is prohibited on all Bald Head Island ferries, barges, and trams.
- The Bald Head Island Club, the Shoals Club, and their facilities are for the enjoyment of club members and their guests only.
- All burning is prohibited without a burning permit. Contact the Public Safety Department for more information (910-457-5252).
- Construction site signage must comply with Village ordinances (Chapter 32-331-345)
- One construction trailer is permitted per job site. No commercial-use trailer shall be permitted or approved for use on Village streets if the overall width exceeds seven (7) feet at its widest point from outside wheel edge to outside wheel edge and the overall length exceeds twenty (20) feet, not including the tongue.
- The removal of trees (including dead or damage) will likely require a permit. Per Village ordinance, "cutting of any tree or trees larger than three inches in caliper at four feet above grade without first obtaining a proper landscape permit will require the offender to obtain a permit, pay the required fine, and mitigate the loss of such tree or trees. Pruning tree branches and/or limbs larger than five inches in diameter without first obtaining a proper landscaping permit will require the offender to obtain a permit, pay the required fine, and mitigate the loss of such branches and/or limbs." Once a permit is obtained for removal, contractors will need to contact Island

Contracting (910-457-5816) to arrange for disposal of the vegetation at the Village's Timber Creek Mulch site. Lot clearing debris is not accepted at this site.

### **Prior Approval from Property Owners' Association**

Before pursuing permits and inspections from the Village, property owners and contractors should make sure that residential construction and remodeling plans, including landscaping, have gone through a review and approval process by the property owners' association. Most properties are under the Bald Head Association. See [Appendix I](#) for the contact information for the island's property owners' associations.

### **Village Permits and Inspections**

After seeking approval from the property owners' association, all construction on Bald Head Island must be inspected and permitted. Arrangements for permits and inspections can be made by calling the Development Services Department at 910-540-8797 or [sboyett@villagebhi.org](mailto:sboyett@villagebhi.org). Many services are available online at [www.villagebhi.org](http://www.villagebhi.org). The Web ID for online services is your professional license number.

#### Building Permit Checklist

The following checklist shall be used to obtain a building permit:

**\*\*\*ALL OF THE FOLLOWING ITEMS MUST BE SUBMITTED\*\*\***

The Village of Bald Head Island follows the NC State Building Code

1. **Lot Survey:** Correct lines and elevation of the lot, if in a flood zone. If on the water, the AEC line must be shown with the total impervious surface shown. The survey must be a recent survey by a registered surveyor and must include the following:
  - a. Elevation of the lot. NOTE: A final elevation certification must be turned into our office not more than five (5) days prior to final inspections on any building in the V-Zone or A-Zone.
  - b. The actual dimensions of the lot to be built upon.
  - c. Lot number, block number, and section in which lot is located.
  - d. The location of the proposed structure with the dimensions of the structure.
  - e. The location of the proposed structure and the location of any other structures.
  - f. Number of dwelling units the building is designed to accommodate.
  - g. All yard setbacks measured from the property line to the farthest most projections (ex. steps, decks) must be shown in the survey. NOTE: See Development Services Department for the correct setbacks for your zoning district.
  - h. Other information that may be essential for determining whether the provisions of the Zoning Ordinance are being observed (ex. AEC lines, high-water lines, Corps of Engineers Right of Way lines, impervious surface coverage, percent of AEC coverage, 404 wetlands, etc.)
2. **CAMA (Coastal Area Management Act) Permit:** If the lot is located in the Area of Environmental Concern, any ground disturbing activity requires a permit.
3. **Plans of the Structure or Dwelling:** The plans must be to scale and include a cut-away wall section, piling plan, foundation plan, elevations (size of windows, doors, etc.).

4. **Workers' Compensation Policy:** Contractors must fill out and submit a signed, notarized Affidavit of Workers' Compensation Coverage. If a homeowner, we need a copy of the Workers' Compensation Policy and proper affidavit signed by the homeowner.
5. **Application for a Building Permit:** A Village of Bald Head Island Building Application completed with all spaces filled in.
6. **Energy Worksheet:** A completed Appendix J Compliance Worksheet. This sheet is required by the Building Code.

Building Permits issued shall become invalid unless the work authorized by it has commenced within six (6) months of its date of issuance, or the work authorized by it is suspended or abandoned for a period of one (1) year.

\*\*\* ALL OF THE ABOVE ITEMS ON THE LIST MUST BE LEFT IN OUR OFFICE FOR A PERIOD OF TWENTY-FOUR (24) HOURS FOR REVIEW BEFORE A PERMIT WILL BE ISSUED, THERE WILL BE NO EXCEPTIONS.\*\*\*

#### Required Inspections

The following is a list of required inspections:

1. **Temporary Service Pole** – when set in place and called in by an electrical contractor.
2. **Piling Delivery** – when pilings are delivered to the job site, before any pilings set into the ground.
3. **Piling Penetration** – after pilings are set in the ground and before any pilings are cut off or notched. Flood plain elevation marked on pilings at this time.
4. **Wall Sheathing** – after all wall plywood is properly nailed to the wall, before felt paper or Tyvek installed.
5. **Roof Sheathing** – after all roof plywood is properly nailed to the roof before felt paper is installed. All roofing materials must be class B
6. **Rough-In Electrical Inspection** - to be made when all rough-in wiring is complete, including ALL boxes in place, ALL wires tied together, and ALL boxes made up including draft stopping ALL holes.
7. **Rough-In Mechanical Inspection** – to be made when ALL ductwork is in place, condensation lines in place with proper drain and ALL draft stopping in place.
8. **Rough-In Plumbing Inspection** – to be made when ALL drain and water lines are in place with water test on lines and draft stopping in place.
9. **Framing Inspection** - to be made when ALL subs inspections are complete, ALL hurricane clips, tie-downs, and bolts are in place, ALL felt or Tyvek installed, and ALL fire and draft stopping in place.
10. **Insulation** – to be made when ALL above-listed inspections are approved, and insulation is in place.
11. **Other Inspections** – items such as fireplaces, gas lines, any footings or slabs, etc. made when ready and called, before walls closed up or concrete poured, etc. Slabs require termite treatments with documentation provided to the Building Inspector.

12. **Final Inspection** – made when ALL trades have finished, and the structure is complete. The electrician needs to have temporary 120 Volts on house to check receptacle polarity and fire alarm system. Generally, ALL Final Inspections can be done at one time.
13. If you are in a Flood Plain – FINAL ELEVATION CERTIFICATE is required five (5) days before Final Inspection is done.
14. Building Permit Card must be on display at all times. No permit displayed – no inspections done.
15. **\*\*Prior to issuance of Certificate of Occupancy\*\***, a foundation survey or final as-built survey must be completed and turned in to Building Inspections

## Projects Located in a FEMA-Regulated Flood Zone

### Definitions:

**Flood Zone** means a geographical area shown on a flood hazard boundary map or a flood insurance rate map that reflects the severity or type of flooding in the area.

**Base Flood Elevation (BFE)** means a determination of the water surface elevations of the base flood as published in the flood insurance study. When BFE has not been provided in a “special flood hazard area”, it may be obtained from engineering studies available from a federal, state, or other source using FEMA approved engineering methodologies. This elevation, when combined with the “freeboard”, establishes the “regulatory flood protection elevation”.

**Freeboard** means the height added to the BFE to account for the many unknown factors that could contribute to flood heights greater than the height calculated for a selected size flood and floodway conditions, such as wave action, blockage of bridges or culvert openings, and the hydrological effect of urbanization of the watershed. The BFE plus the freeboard establishes the “regulatory flood protection elevation”.

**Regulatory Flood Protection Elevation** means the “base flood elevation” plus the “freeboard”. In “special flood hazard areas” where base flood elevations (BFEs) have been determined, this elevation shall be the BFE plus 1 foot of freeboard. In “special flood hazard areas” where no BFE has been established, this elevation shall be at least 0 feet above the highest adjacent grade.

When performing work in a FEMA identified flood zone with a BFE then all building materials below the regulatory flood protection elevation must be flood resistant materials as identified in [FEMA Technical Bulletin 2](#). To determine if the property is within a flood zone you can go to the following website, <https://fris.nc.gov/fris/Home.aspx?ST=NC>, or ask the Village’s Development Services Director. The Village of Bald Head Island has adopted a 1-foot freeboard. That 1 foot is added to the BFE to set the level where any material below must be flood resistant.

It is important to note that ductwork cannot be installed in the regulatory flood protection elevation and **MUST** be elevated above the regulatory flood protection elevation. It is recommended that you have a surveyor set an elevation on a piling indicating the BFE or regulatory flood protection elevation. A Final As Built Elevation Certificate is required prior to issuance of the certificate of occupancy. If the ductwork is shown below the regulatory flood protection elevation, the building will be noncompliant, and the certificate of occupancy shall not

### Development Services Fee Schedule

See [Appendix G](#)

## Utilities

The Village of Bald Head Island Utilities Department provides water and wastewater services for the residents and businesses on Bald Head Island.

The Utilities Department's operating hours are Monday Through Friday from 7:30 a.m. to 3:30 p.m. Employees are on-call outside of the operator hours, for emergencies only.

Contractors should be aware of the following:

- All residential and non-residential water and sewer connection charges must be paid in full prior to sheathing inspection.
- Building contractors must give 30 days' notice to the Village Utilities Department prior to when water and sewer services will be required.
- Building contractors must contact the Village Utilities Department to schedule an on-site meeting to determine the future location of the sewer pump, control panel, and water meter.
- Building contractor/property owner must provide clear access to the work site for Village staff and equipment necessary to perform repairs, maintenance, or installation of Village-owned piping or devices.
- The Village's standard sewer pump requires 240 volts supply, 30 amp "double-throw" breaker, and 10/3 power wire to the pump control panel. In some cases, a quick disconnect may be required prior to installing the pump control panel. This electrical equipment will be the building contractor or owner's responsibility.
- Check valves are required for all residential water connections. Check valves are provided by Villages Utilities Department as part of the connection charge (residential only).
- Double or RPZ (testable) check valves are required for commercial facilities or irrigation connections. Contact the Village Utilities Department for additional information.
- Any potable water connection with the potential to produce waste is not permitted unless the plumbing discharge is connected to an approved and operational sewer system.
- The Village Utilities Department recommends a "good quality" water isolation valve be installed on the homeowner's side within 1-2 feet of the Village water meter. The valve should be placed inside a valve box with cover to prevent freezing. This valve can then be used at the homeowner's or property manager's discretion. Please understand...the "meter valve" is for Village staff only for just-cause or owner requested disconnects. A reconnection fee will be applied to monthly service billing.
- Plumbing must stop approximately 3 feet short of the pump tank or gravity connection. The final connection cannot be completed until the sewer system has been deemed operational by Village Utilities staff. Monthly sewer charges will begin after connection.
- If any damages occur "during construction" of any Village-owned piping or devices due to material deliveries, equipment access, or negligence, the building contractor will be held liable for repair and replacement costs.

### Utilities Fee Schedule

See [Appendix H](#)

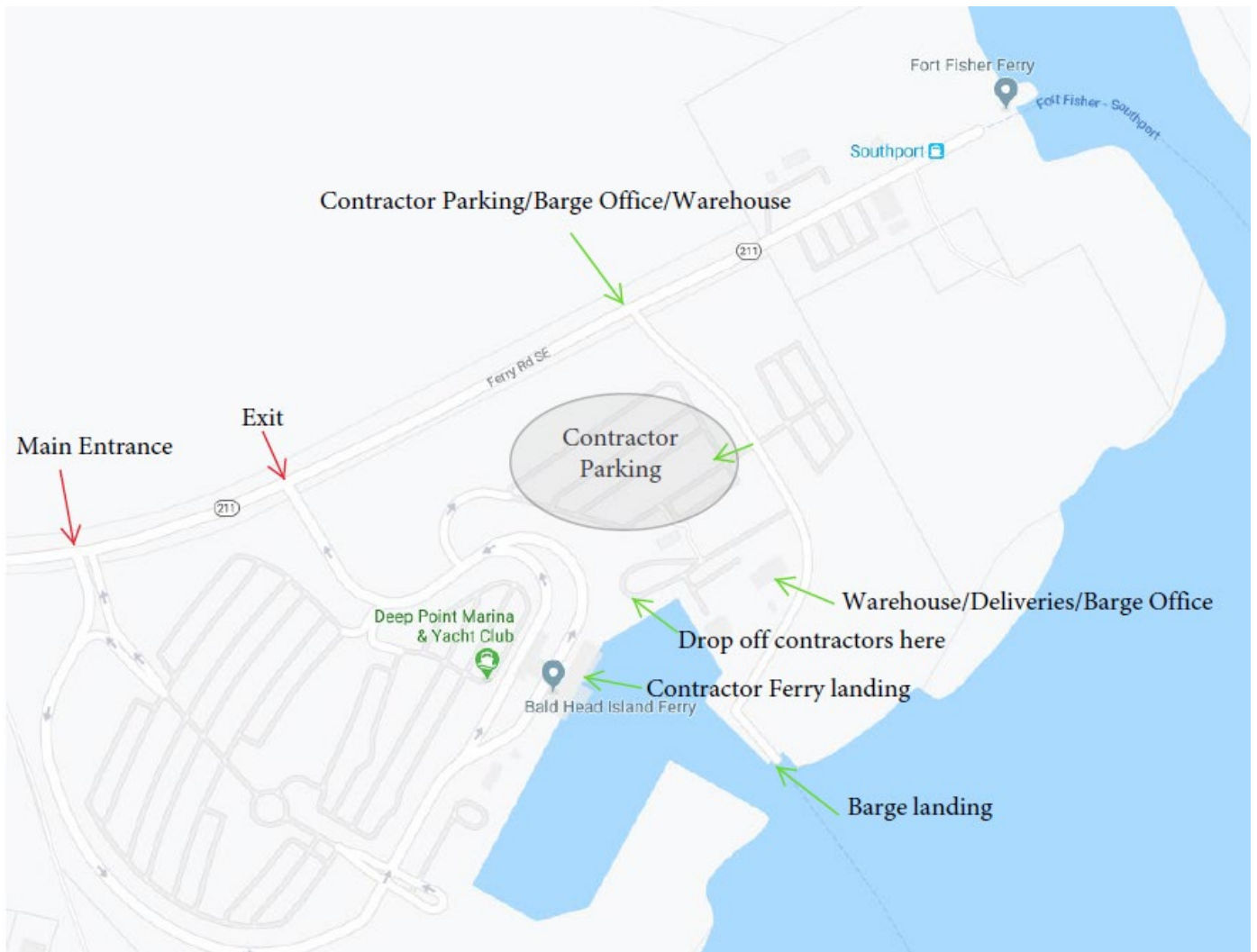
# List of Appendices

<a href="#"><u>APPENDIX A</u></a>	Map of Deep Point Marina
<a href="#"><u>APPENDIX B</u></a>	ICE Permit Fees
APPENDIX C	Areas with ICE Vehicle Restrictions
	<a href="#"><u>Edward Teach</u></a>
	<a href="#"><u>Maritime Way</u></a>
	<a href="#"><u>Shoals Alley</u></a>
	<a href="#"><u>Timber Bridge</u></a>
<a href="#"><u>APPENDIX D</u></a>	Contractor Services Price List
<a href="#"><u>APPENDIX E</u></a>	Schedule of Penalties
<a href="#"><u>APPENDIX F</u></a>	ICE Vehicle Transition Plan
<a href="#"><u>APPENDIX G</u></a>	Building Permit Fees
<a href="#"><u>APPENDIX H</u></a>	Water and Sewer Rate Fees
<a href="#"><u>APPENDIX I</u></a>	Contact Information
<a href="#"><u>APPENDIX J</u></a>	Commercial Vehicle Route Map

# APPENDIX A

## Map of Deep Point Marina 1301 Ferry Road

On most GPS programs, 1301 Ferry Road takes you to the main entrance for the Bald Head Island Ferry. The main entrance WILL NOT take drivers to the Contractor Services parking lot or the barge office. Drivers need to take the 3<sup>rd</sup> entrance/exit on the Deep Point Marina Property.





# APPENDIX B

**Village of Bald Head Island  
Internal Combustion Engine (ICE) Permit Fees  
Effective July 1, 2024**

Overall Vehicle Length Stem to Stern		CATEGORY	DAILY ICE FEE	ANNUAL ICE FEE
EQUAL TO OR GREATER THAN	BUT LESS THAN			
0 feet	15 feet	I	\$40	\$250
15 feet	21 feet	II	\$100	\$800
21 feet	27 feet	III	\$200	\$1,500
27 feet	33 feet	IV	\$400	\$2,900
33 feet		V	\$500	\$4,000

**PRORATED ANNUAL SCHEDULE**

CATEGORY	JULY - SEPT	OCT -DEC	JAN - MAR	APR - JUN
CAT I	\$250	\$190	\$130	\$60
CAT II	\$800	\$600	\$400	\$200
CAT III	\$1,500	\$1,130	\$750	\$380
CAT IV	\$2,900	\$2,180	\$1,450	\$730
CAT V	\$4,000	\$3,000	\$2,000	\$1,000

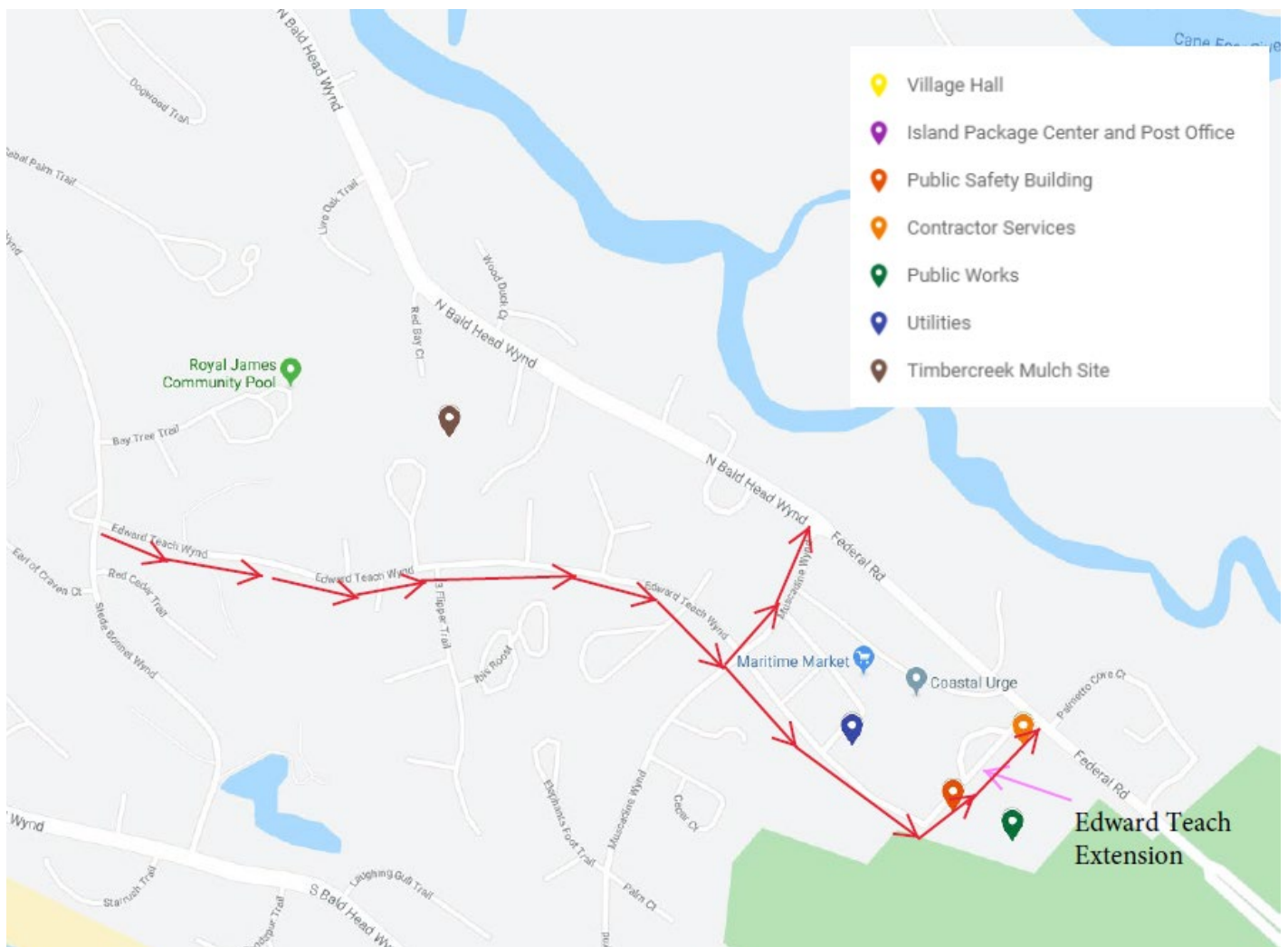
# APPENDIX C

## Areas with ICE Vehicle Restrictions (Edward Teach)

There shall be no through “ICE” traffic on Edward Teach Wynd.

This means if you have to go to a place on Edward Teach Wynd or off of Edward Teach Wynd (*Brunswick Ct., Loosestrife Ct., Sandwich Tern Trl., 3 Flipper Trl., Painted Bunting Ct., Ibis Roost, Partridge Berry Ct., Spanish Needles Ct., Gray Fox Ct., Laurel Cherry Ct., Poorman’s Pepper Trl*) in a gas-powered vehicle, you can travel on Edward Teach Wynd, but if you do not have a place to stop on or off of Edward Teach Wynd, you cannot use it to get anywhere on the island traveling in either direction.

Below is a map of Edward Teach Wynd showing the through route from Stede Bonnet Wynd through Muscadine Wynd to Federal Road and through Edward Teach Extension to Federal Road. Traveling through without stopping at a destination on this route is prohibited when traveling in either direction.



# APPENDIX C

## Areas with ICE Vehicle Restrictions (Maritime Way)

It is unlawful to operate ICE (gas-powered) vehicles on Maritime Way without a Special Use Permit:

See map below:

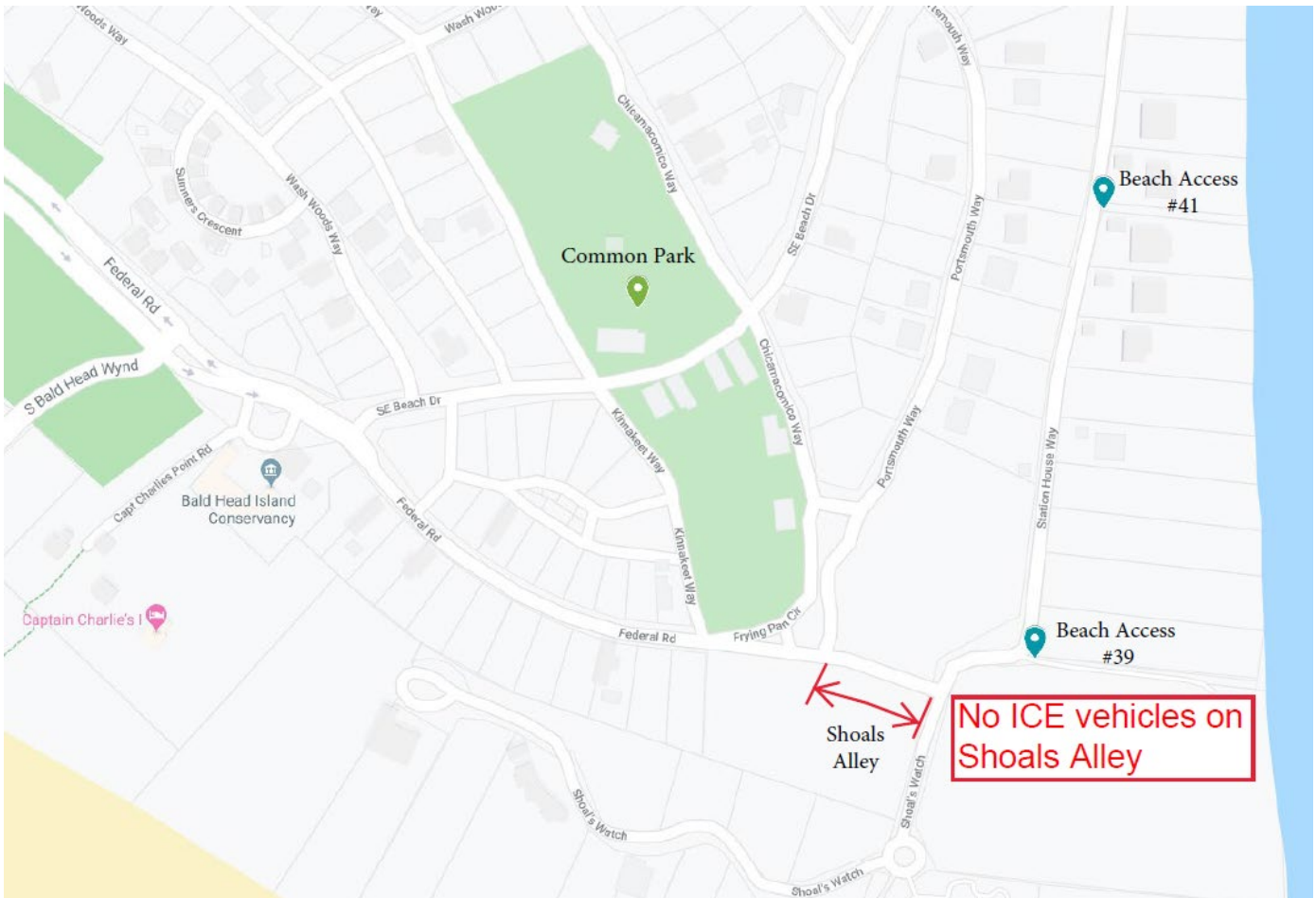


# APPENDIX C

## Areas with ICE Vehicle Restrictions (Shoals Alley)

It is unlawful to operate ICE (gas powered) vehicles on Shoals Alley without a Special Use Permit. This road is VERY narrow.

See map below:

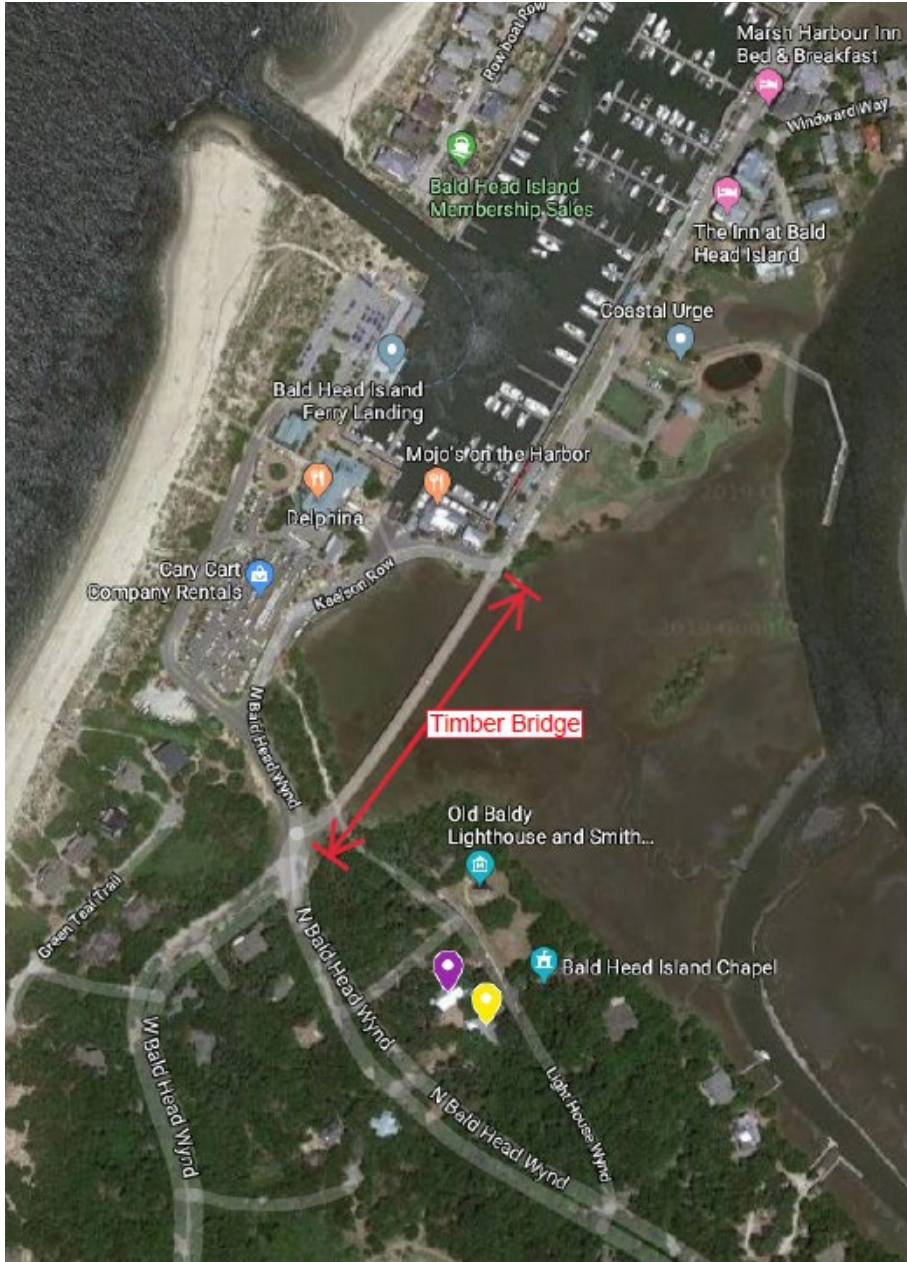


# APPENDIX C

## Areas with ICE Vehicle Restrictions (Timber Bridge)

It is unlawful to operate ICE (gas-powered) vehicles on the Timber Bridge without a Special Use Permit.

See map below:



# APPENDIX D

## Contractor Services Price List

### Effective July 1, 2024

Item	Description of Fee	Amount
1	<u>Parking</u>	
	ICE Vehicle Parking	
	Monthly	\$120
	Annual	\$1,200
	Temporary - Overnight	\$40
	Golf Cart Parking monthly	\$60
	Golf Cart Parking Annually	\$600
2	<u>Fuel Sales</u>	
	Gasoline Sales	Wholesale plus, price
	Diesel Fuel Sales	Wholesale plus, price
3	<u>Container Rentals</u>	
	Container Monthly	\$250
	Container Annually	\$2,500
4	<u>Contractor Services Building Rental</u>	
	Storage Unit Rental, monthly price; includes one parking place on concrete in front of respective unit.	\$800
	Break Room Training Rental, per event	\$125

Port-a-johns are available through the Utility Department for \$145.71 per month or \$75.98 per event. Call 910-457-9700 ext. 1000 or email [mkesmodel@villagebhi.org](mailto:mkesmodel@villagebhi.org) to order.

# APPENDIX E

## Schedule of Penalties

Violation	Section	Penalties		
		First Offense	Second Offense	Third Offense
<b>NC State Violations May Be Issued for the Following Offenses</b>				
Open Container; Driving Under the Influence	28-32	\$250		
Reckless Driving	28-36	\$250		
Speeding In one calendar year	28-37	\$50	\$75	\$100
<b>Bald Head Island Civil Citations May Be Issued for the Following Offenses</b>				
Helmet	28-30	\$10		
Improper Equipment	28-31	\$50	\$100	Towing & Impoundment or Removal *
Parking	28-33 (a) All 28-33 (b) Trailers	\$50	\$100	Towing & Impoundment or Removal *
Passing	28-34	\$50	\$100	Towing & Impoundment or Removal *
Prohibited vehicles	28-35	\$75	\$100	Towing & Impoundment or Removal *
Stop Sign	28-38	\$75		
Streets with Vehicle Restrictions	28-39	\$50	\$100	Towing & Impoundment or Removal *
Unlicensed Drivers	28-40	\$250		
Vehicles on Beach	28-41	\$250		
<b>Bald Head Island Civil Citations May Be Issued for the Following Registration-Related Offenses</b>				
Mandatory Registration of Personal-Use Electric Vehicle	28-51	\$50	\$100	Towing & Impoundment or Removal *
Mandatory Permits for Commercial-Use Vehicles	28-71	\$50	\$100	Towing & Impoundment or Removal *
Mandatory Permits for Commercial-Use Trailers	28-93	\$50	\$100	Towing & Impoundment or Removal *
*Actual Cost for Towing and Impoundment, or for Removal of Vehicle from Island				

# APPENDIX F

## ICE Vehicle Transition Plan

### Section 28-9. Transition of Compliance with Chapter 28 for Internal Combustion Engine (I.C.E.) Vehicles

- (1) I.C.E. vehicles registered under a valid annual permit at the time of adoption of this Section may remain and are grandfathered until July 1, 2025. Where feasible and commercially reasonable, existing I.C.E. vehicles should be replaced with electric vehicles when they cycle out of service or become unserviceable.
- (2) The Director, for good cause shown, may grant an exception as needed.
- (3) Special Use Permit requirements will become effective July 1, 2020.
- (4) The cost-of-living adjustments will be based on the Consumer Price Index for All Urban Consumers, "CPI-U."

2019-2020	Revised Transportation Ordinance, Traffic, and Vehicles approved Increase I.C.E. daily fees by cost-of-living adjustment, 2000-2019 (47.25%)
2020-2021	Increase I.C.E. annual fees by one-half (1/2) cost of living adjustment, 2000-2020 Increase I.C.E. daily fees by cost-of-living-adjustment, 2019-2020 Add I.C.E. Special Use Permits Require plan for converting to non-I.C.E. vehicles First-time applicants required to use non-I.C.E. vehicles, as applicable
2021-2022	Increase I.C.E. annual fees by the remaining one-half (1/2) cost of living adjustment, 2000-2021 Increase I.C.E. daily fees by cost-of-living adjustment, 2020-2021 Show progress on plans to convert to non-I.C.E. vehicles, as applicable
2022-2023	Evaluate I.C.E. annual and daily fees increase Report progress on plans for conversion to non-I.C.E. vehicles, as appropriate
2024-2025	Transition for I.C.E. vehicles complete, as appropriate



# APPENDIX G

## Building Permit Fees (Page 1)

### Village of Bald Head Island Schedule of Building Permit Fees and Land Use Development Review Fees Effective July 1, 2024

Item	Description of Fee	Amount
1	<b><u>Building Permit Fee - Based on Valuation</u></b>	
	0 - \$5,000	\$ 60.00
	Monthly	\$ 100.00
	\$15,001 - \$25,000	\$ 150.00
	\$25,001 - \$30,000	\$ 225.00
	> \$30,000 = \$7.00 per \$1,000 or fraction thereof	
2	<b><u>Structure Valuation (per square foot)</u></b>	
	Residential Heated Space	\$ 155.00
	Commercial Heated Space	\$ 175.00
	Residential Covered Area	\$ 75.00
	Commercial Covered Area	\$ 90.00
	Residential Uncovered Area	\$ 55.00
	Commercial Uncovered Area	\$ 55.00
3	<b><u>Heating and Air Conditioning</u></b>	
	Electrical Mechanical System	\$ 70.00
	Gas Mechanical System	\$ 70.00
4	<b><u>Electrical</u></b>	
	Temporary Service	\$ 40.00
	Living Units	\$ 150.00
	Crofter Units	\$ 40.00
	Commercial Units	\$ 200.00
5	<b><u>Fire Prevention</u></b>	
	Fire Alarm System	\$ 60.00
	Fire Sprinkler System	\$ 60.00
	Commercial Fire/Safety Inspection	\$ 75.00
6	<b><u>Plumbing</u></b>	
	Basic Charge	\$ 50.00
	Fixture Units (including water heater and outside shower)	\$ 6.00

# APPENDIX G

## Building Permit Fees (Page 2)

### Village of Bald Head Island Schedule of Building Permit Fees and Land Use Development Review Fees Effective July 1, 2024

Item	Description of Fee	Amount
7	<b><u>Minor Permits</u></b>	
	Re-roofing	\$ 40.00
	Wiring Lift Pumps	\$ 40.00
	Replace Defective HVAC Units	\$ 40.00
	Project Requiring New Electric Service	\$ 50.00
	Re-inspection Fee	\$ 75.00
	LP Tanks	\$ 40.00
	Fences	\$ 40.00
	Docks/Piers, per square foot	\$ 30.00
	Bulkheads, per linear foot	\$ 0.60
	Landscape Permit	\$ 40.00
	Tents	\$ 50.00
8	<b><u>Penalties</u></b>	
	Penalties for Work without Permit	\$ 250.00
9	<b><u>Land Use Development Review</u></b>	
	<b>Development Application Fees</b>	
	<b><u>Subdivision Plans (per submission):</u></b>	
	Preliminary Plat Review	\$ 1,200.00
	Final Plat Review	\$ 1,000.00
	<b>Planned Unit Development Plans</b>	
	<b><u>Master Plan Review:</u></b>	
	Original Submission	\$ 2,000.00
	Amendments	\$ 1,400.00
	<b><u>Site Specific Plan Review:</u></b>	
	Preliminary Site Specific Plat	\$ 1,000.00
	Final Site Specific Plat	\$ 1,000.00
	<b>Permit Applications</b>	
	Conditional Use Permit	\$ 700.00
	Special Use Permit	\$ 700.00
	<b>Zoning Ordinance Amendment Applications</b>	
	Rezoning Request	\$ 1,000.00
	Text Amendment	\$ 500.00
	<b>Board of Adjustments</b>	
	Appeals, Variance Requests, etc.	\$ 400.00

# APPENDIX G

## Building Permit Fees (Page 3)

### Village of Bald Head Island Schedule of Building Permit Fees and Land Use Development Review Fees Effective July 1, 2024

Item	Description of Fee	Amount
10	<u>Commercial Review Board</u>	
	<b>New Construction</b>	
	Review Fee for up to 3 reviews <i>(Includes any combination of draft, preliminary, or final review submittals)</i>	\$ 5,000.00
	Review Fee for each additional review beyond 3	\$ 1,500.00
	<b>Major Renovations</b>	
	Category I <i>(Renovation to heated space of 1,000 - 1,599 sqft. Or non-heated space 1,200 sqft. or greater. Note that major renovations affecting 1,600 sqft. and over, or renovations involving 50% of the existing structure to be removed or revised are subject to new construction fees and guidelines.)</i>	\$ 4,000.00
	Category II <i>(Renovation to heated space of 250-999 sqft. or non-heated space of 500-1,199 sqft.)</i>	\$ 3,000.00
	Category III <i>(Renovation to heated space of less 250 sqft. or non-heated space of 250-499 sqft.)</i>	\$ 2,000.00
	<b>Minor Renovations</b>	
	Category I <i>(Renovation to non-heated space of less than 250 sqft., hardscape changes to landscape or any other renovation no otherwise categorized.)</i>	\$ 600.00
	Category II <i>(Renovation that changes an existing feature, such as a door, window, roof materials, or decorative item. See Ordinance for notes)</i>	\$ 400.00

# APPENDIX H

## Water and Sewer Rate Fees (Page 1)

Village of Bald Head Island  
Schedule of Water & Sewer Rate Fees  
Effective July 1, 2024

Item	Description of Fee	Amount
1	<u>Connection Charges</u>	FY 25
	<b>Monthly</b>	
	3/4 inch meter	\$ 13,214
	1 inch meter	\$ 13,874
	2 inch meter	\$ 16,515
	<b>Sewer, Residential</b>	
	Grinder Pump Required	\$ 6,601
	No Grinder Pump Required	\$ 1,321
	<b>Irrigation, Residential &amp; Non-Residential</b>	
	3/4 inch meter, with testable check, existing water (tap) connection required	\$ 1,321
	1 inch meter, with testable check, existing water (tap) connection required	\$ 1,581
	<b>Water Non-Residential</b>	
	Per Residential Equivalent Unit (REU)	\$ 13,214
	1 inch meter (Minimum Charge)	\$ 13,874
	2 inch meter (Minimum Charge)	\$ 16,515
	<b>Sewer Non-Residential</b>	
	Grinder Pump Required (Per Pump)	\$ 6,601
	No Grinder Pump Required (Gravity Connection)	\$ 1,321
	<b>Fire Protection Service</b>	
	Residential 2" tap	\$ 660
	Non-Residential 2" (Larger taps will be at additional Charge)	\$ 660
	<b>Customer Service Charge</b>	
	Residential	\$ 13,214
	Non-Residential, per REU rating	\$ 13,214

# APPENDIX H

## Water and Sewer Rate Fees (Page 2)

Village of Bald Head Island  
 Schedule of Water & Sewer Rate Fees  
 Effective July 1, 2024

2	<u>Utility Service (Monthly Charges)</u>		
	<b>Residential Water - Usage Charge, per 1,000 gallons</b>		
	Base Charge, zero usage	\$	23.76
	Tier 1 (usage 0-3,000 gallons)	\$	6.71
	Tier 2 (usage > 3,000 gallons)	\$	10.99
	<b>Residential Sewer</b>		
	Base Charge	\$	78.53
	<b>Non-Residential Water, Usage Charge per 1,000 gallons, per REU (REU = 360)</b>		
	Base Charge, per REU, with a minimum charge of \$55.46	\$	59.40
	Tier 1 (usage 0-11,000 x REU)	\$	6.71
	Tier 2 (usage > 11,000 x REU)	\$	10.99
	<b>Non-Residential Sewer</b>		
	100% of Water Charge, minimum charge of \$78.53		Equal to water charge; minimum: \$78.53
	<b>Irrigation (Both Residential and Non-Residential, per 1,000 gallons)</b>	\$	10.99
3	<u>Debt / Capital Surcharge Fee, per REU, per month</u>	\$	17.74
4	<u>New Customer Account Setup Fee</u>		
	Water Utility Service	\$	19.80
	Sewer Utility Service	\$	19.80
	<i>(Note, if water and sewer utility services are established at the same time, only a single account setup fee will apply, not both)</i>		

# Water and Sewer Rate Fees (Page 3)

## Village of Bald Head Island Schedule of Water & Sewer Rate Fees Effective July 1, 2024

5	<b><u>Reconnection Charge</u></b>		
	If Water Service cut off by Utilities for good cause	\$	66.01
	If Water Service discontinued at the customer's request	\$	66.01
	If Sewer Service is cut off by the Utilities for good cause	\$	66.01
	<i>(Note, if water and/or sewer service is disconnected and the service is reconnected within nine (9) months, the base charges and surcharge for all months disconnected will be due and payable)</i>		
6	<b><u>Other Charges and Terms</u></b>		
	<b><u>Terms:</u></b>		
	Bills are due on Billing Date.		
	Bills are Past Due twenty (20) Days After Billing Date.		
	Bill Frequency: Shall be monthly for service in arrears		
	Finance Charges for Late Payment - 1% per month will be applied to the unpaid balance of all bills still past due 21 days after billing date		
	Collection Agency Fee - 35% of any unpaid balance will be applied to the account, if the account has been turned over to a collection agency.		
	Labor, work-hour services - per hour	\$	44.84
	Labor, after-hour services - per hour	\$	63.51
	Equipment use charge - per hour	\$	69.72
	Portable Toilet / Hand Wash Station rental charges, per month	\$	145.71
	Portable Toilet / Hand Wash Station rental charges, per event	\$	75.98
	Non-sufficient funds (NSF) check charge	\$	25.00

# APPENDIX I

## Contact Information

### CALL 911

**for ALL EMERGENCIES and times when you need a public safety officer to come to your location to respond to your immediate needs.**

**Tell the operator you are on Bald Head Island.**

<b>Bald Head Island Transportation Inc.</b>			
(BHIT owns & operates ferries & trams. Bald Head Island Limited LLC owns marinas, barge, parking & warehouse which are operated by BHIT under separate agreement)			
Ferry & Tram Info	Mainland	910-457-5003	<a href="http://www.baldheadislandferry.com">www.baldheadislandferry.com</a>
Parking Info	Mainland	910-457-7289	<a href="http://baldheadislandferry.com/parking">http://baldheadislandferry.com/parking</a>
Barge Info		910-457-5205	<a href="http://www.bhibarge.com">www.bhibarge.com</a>
Golf Cart Parking	Island	910-457-7380	Dockmaster
BHI Marina Info	Dockmaster	910-457-7380	<a href="mailto:dockmaster@bhisland.com">dockmaster@bhisland.com</a>
<b>Village of Bald Head Island</b> (building inspections/permits, port-a-john rentals, water & sewer utilities, Contractor Services, golf cart registration, law enforcement, FIRE/EMS/Water Rescue)			
Building Inspections/Permits	Development Services	910-457-6255	Stephen Boyett <a href="mailto:sboyett@villagebhi.org">sboyett@villagebhi.org</a>
Port-a-John Rentals	Utilities Department	910-457-9700 ext. 1000	<a href="mailto:mkesmodel@villagebhi.org">mkesmodel@villagebhi.org</a>
Water & Sewer Service	Utilities Department	910-457-7353	<a href="mailto:jmccann@villagebhi.org">jmccann@villagebhi.org</a>
Parking (golf carts/ICE veh.)	Contractor Services	910-457-9700 ext. 1011	<a href="mailto:contractorservices@villagebhi.org">contractorservices@villagebhi.org</a>
Storage Containers	Contractor Services	910-457-9700 ext. 1011	<a href="mailto:contractorservices@villagebhi.org">contractorservices@villagebhi.org</a>
Fuel (gasoline/diesel)	Contractor Services	910-457-9700 ext. 1011	<a href="mailto:contractorservices@villagebhi.org">contractorservices@villagebhi.org</a>
ICE & Special Use Permits	Public Safety Dept.	910-457-5252	<a href="mailto:psadmin@villagebhi.org">psadmin@villagebhi.org</a>
Golf Cart Registration	Public Safety Dept.	910-457-5252	<a href="mailto:psadmin@villagebhi.org">psadmin@villagebhi.org</a>
<b>Other</b>			
Bald Head Association, Architectural Review	Fran Pagliaro	910-457-4676 Ext.22	<a href="mailto:fran@baldheadassociation.com">fran@baldheadassociation.com</a>
Harbour Association Architectural Review	Kimberly Bandera	910-457-4676 Ext/ 29	<a href="mailto:harb@baldheadassociation.com">harb@baldheadassociation.com</a>
Golf Cart Rentals	Cary Cart Company	910-457-7333	<a href="https://www.carycartco.com/bald-head-island-rentals/">https://www.carycartco.com/bald-head-island-rentals/</a>

APPENDIX J  
Commercial Vehicle Routes



# NOTICE

The Village of Bald Head Island has areas of low hanging trees, narrow roads and other hazards. If you are not familiar with the island and/or roads that support use of commercial vehicles, please contact the Public Safety\* Department prior to leaving Deep Point Marina. The vehicle operators will be subject to damages and/or civil penalties for damage to property and/or trees.

\*Village of Bald Head Island Public Safety Department (910) 457-5252

